

Proposed Site Plan: 1"=8'



typical fencing



japanese maple – 1 @ 5 gallon



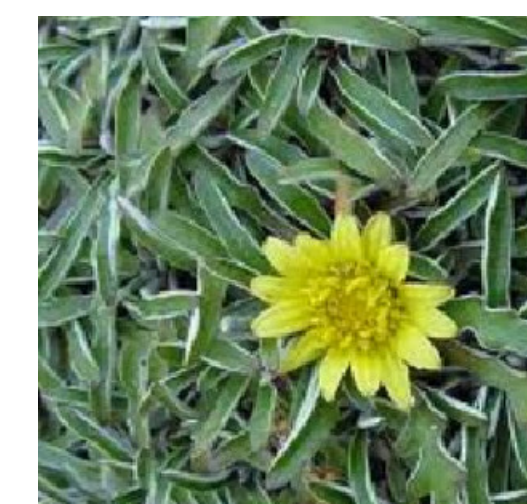
rainbow formium
– 6 @ 1 gallon



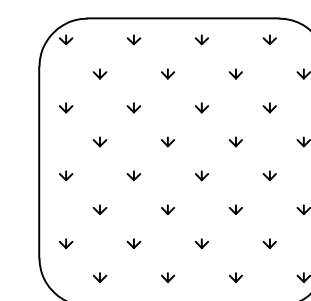
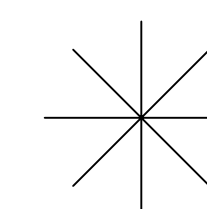
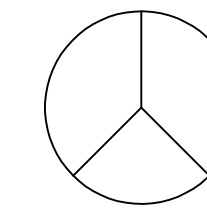
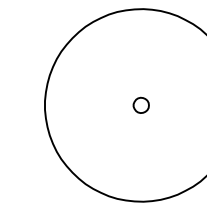
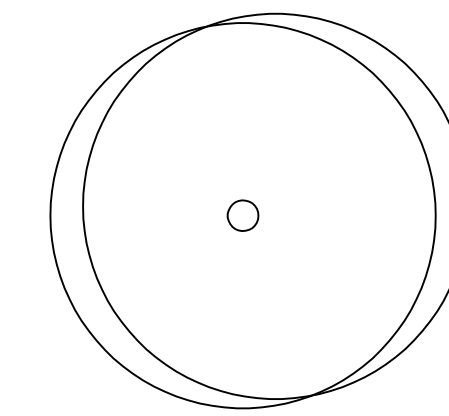
pennisetum orientale 'fairy tales'
– 6 @ 1 gallon



blue agave – 6 @ 1 gallon



'silver carpet' dymondia – 2,008, 1 gallon @ 24"



Property Owner/Applicant

Pace Homes Inc.
Box 519, Arroyo Grande, California 93420
(805)481-5221

Architect: Cody McLaughlin
967 South 16th Street, Grover Beach, California 93433
(805) 704.1713

Structural Engineer: Studio Prime Inc.
4420 Broad Street Suite B, San Luis Obispo, California 93401
(805) 776.3130

Civil Engineer: Garing Taylor and Associates
141 Elm Street, Arroyo Grande, California 93420
(805) 489.1321

Soils Engineer: GeoSolutions Inc.
220 High Street, San Luis Obispo, California 93401
(805) 543-8539

ATTACHMENT 3

Cody McLaughlin, Architect
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Project Description

New SFR

APN: 007-031-038
Zoning: Residential Suburban
Total Lot Area: 15,881 SF

This project shall comply with the 2022 editions of the California Residential Code (CRC) and/or California Building Code (CBC), California Mechanical Code (CMC), California Plumbing Code (CPC), California Electrical Code (CEC), and the California Green Building Standards Code, California Energy Code (CEnc), all amendments to the CA codes adopted by the City, and all other codes, regulations, and approvals established by the City.

OCCUPANCY GROUP: R-3/U
CONSTRUCTION TYPE: VB
ROOF RATING: CLASS B

Lot Coverage:

Building Footprint: 3,628 SF = 23%
Driveway/Hardscape: 798 SF = 5%
Open Space/Landscaping: 11,455 SF = 72%
Total lot area: 15,881 SF = 100%

Floor Area Ratio = .17

Areas:

Conditioned Space: 2,843 sf
Garage: 785 sf
Covered Porch: 168 sf

Maximum Height:

AVERAGE NATURAL GRADE: 143.15'
MAX. ALLOWABLE HEIGHT: 25.00'
MAX. HEIGHT ALLOWED: 168.15'

FINISH FLOOR ELEVATION: 143.15'
1st FLOOR PLATE HEIGHT: 9.08'
ROOF FRAMING-12:12x15.75': 15.75'
PROPOSED HEIGHT: 167.98'

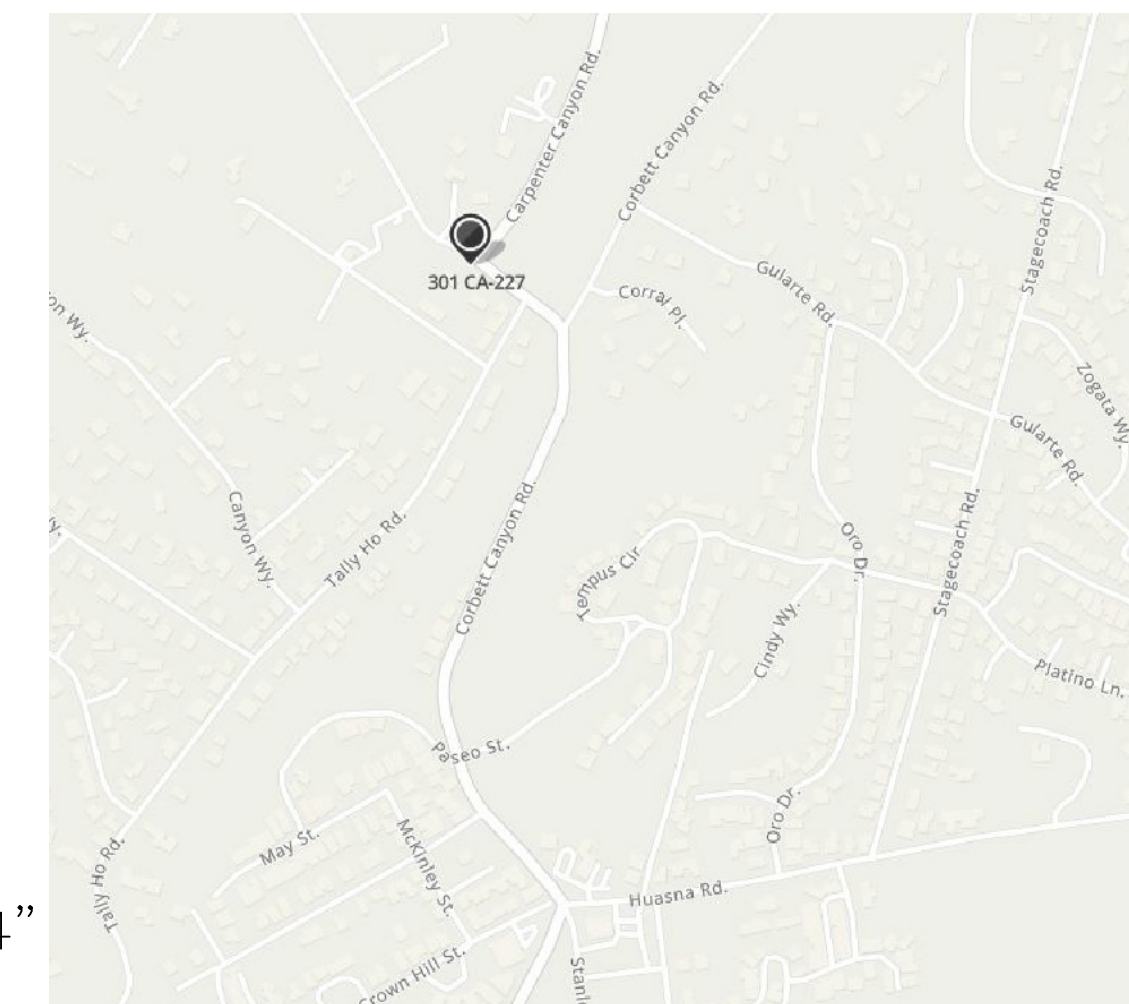
Utilities: Existing and Proposed Utility Lines Shall Be Underground or Pay an In Lieu Fee

Water	City of Arroyo Grande	(Existing)
Sewer	City of Arroyo Grande	(Existing)
Gas	Southern California Gas	(Existing)
Electricity	Pacific Gas & Electric	(Existing)
Cable	Charter Communications	(Existing)
Telephone	Pacific Bell	(Existing)

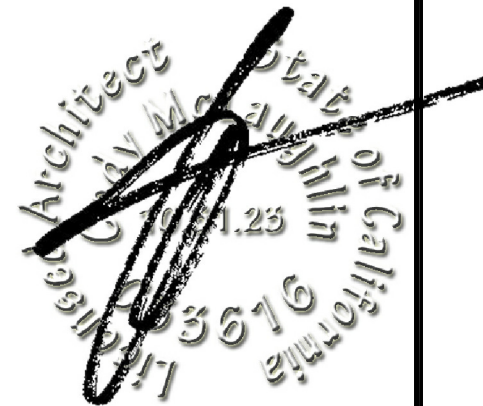
Deferred Submittals:
Fire sprinklers: Yes, fire sprinklers require a separate application, review and permit. All deferred submittal items must be submitted for plan review and approval before installation.
Photovoltaics: 2.73Kw Photovoltaic system shall be installed inspected and approved prior to final inspection.

Sheet Index

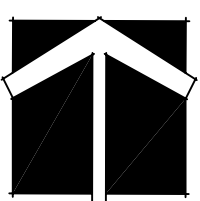
Project Data, Site and Landscape Plan	A.0
Floor Plan	A.1
Elevations	A.2
Elevations	A2.1



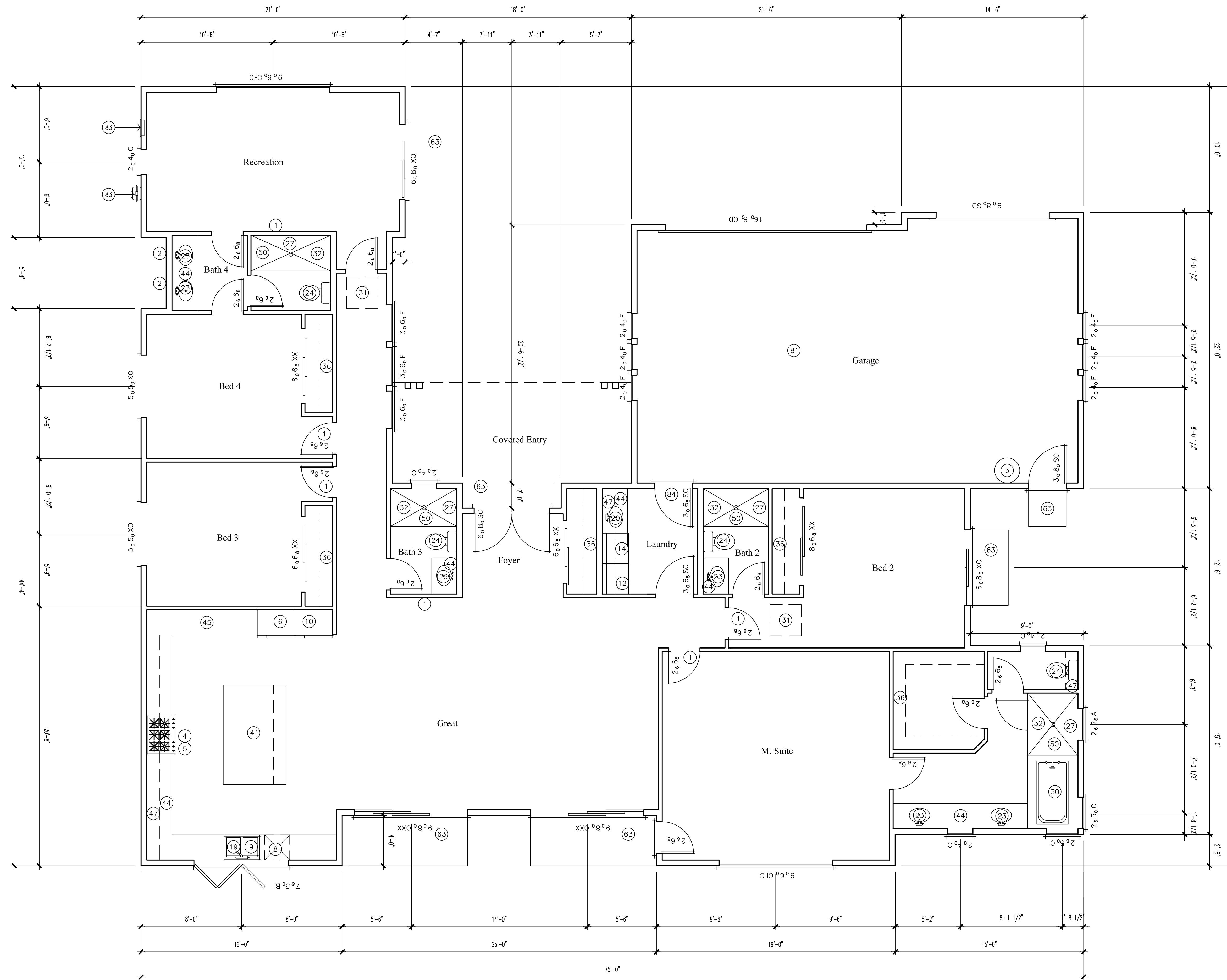
Project Data, and Proposed Site Plan



Lot 9 - 264 Cobble Creek Way
Arroyo Grande, California



A.0
Scale: 1"=8'
5 May 2023



FLOOR PLAN KEYNOTES

KEYNOTES ONLY APPLY IF REFERENCED ON PLANS

- ① Mitsubishi heat pump - 12k BTU Cooling + Heating - P-Series Concealed Duct Air Conditioning System - 21.1 SEER, Model PE2-A12MA or equal.
Gas utilization appliances in residential garages and in spaces that open to the garage and are not part of the living space of a dwelling unit shall be installed so that burners and burner-ignition devices are located not less than 18" above the floor unless listed as flammable vapor ignition resistant.
- ② Exterior fan coil
- ③ Rinnai Sensei 9 GPM 140000 BTU 120 Volt Residential Natural Gas Tankless Water Heater, shall be nationally listed and be installed in accordance with the installation instructions that were approved as part of their listing. The gas piping serving this appliance must be sized in compliance with the water heater's listed installation instructions and the CPC.
Systems using gas water heaters to serve individual dwelling units shall be provided with equipment allowing the later installation of an instantaneous or heat pump water heater including:
 - A dedicated 125V, 20A electrical receptacle that is connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG copper branch circuit, within 3ft from the water heater and accessible with no obstructions. Both ends of the conductor shall be labeled with the word "gas" and a reserved single-pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the required branch circuit above labeled with the words "Future 240V Use".
 - A category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed.
 - A condensate drain no more than 2 inches higher than the base of the installed water heater that allows draining without pump assistance.
 - A gas supply line with a least 300,000 Btu/hr capacity.

- ④ COOKING UNITS (VENT EXHAUST REQUIRED IF GAS) WITH BUILT-IN AIR PURIFIER OR GRABBY VENT, 5000 BTU
- ⑤ COOK TOP W/ HOOD 100 CFM EXHAUST
- ⑥ DRELL
- ⑦ GARBAGE DISPOSAL
- ⑧ MICROWAVE/OVEN COMBO
- ⑨ DISHWASHER
- ⑩ REFRIGERATOR
- ⑪ COLD WATER TAP (UNDER COUNTER AT WET BAR)

WIRING: PROVIDE A "FLOODRESIST" DRAIN PAN OR EQUAL IF NOT LOCATED IN GARAGE. SLOPE FLOOR TO DRAIN DRAIN TO OUTSIDE. W/ VENTLESS CLOSET DRYER LOCATION REFER TO ELECTRICAL PLAN FOR ADDITIONAL INFORMATION

PLUMBING FIXTURES

- ⑫ KITCHEN SINK
- ⑬ LAUNDRY SINK
- ⑭ 2" Diameter Marathon Deck Drain, Stair or Drain Overflow
- ⑮ 2" Diameter Marathon Economy Empoco Pak Roof Drain Overflow
- ⑯ LAUNDRY SINK
- ⑰ WATER CLOSET
- ⑱ CLEARANCES: 24" FRONT, 30" COMPARTMENT WIDTH
- ⑲ RECESSED CABINET - ROUTE SINK VENT ACCORDINGLY
- ⑳ Reinforcement shall not be less than 2 by 8 inch (51 mm by 203 mm) nominal lumber (11/2 inch by 7/4 inch (28 mm by 184 mm actual dimension) or other construction material providing equal height and load capacity. Reinforcement shall be located between 32 inches (812.8 mm) and 39 1/4 inches (997 mm) above the finished floor finish with the wall framing.
- ㉑ MASTER BATH TUB: REFER TO NOTE 33
- ㉒ PLUMBING ACCESS: 12" x 12" IF NO ACCESS PROVIDED, NON-SLIP JOINT CONNECTIONS REQUIRED
- ㉓ WATER RESISTANT OPTIMAL BOARD BACKING REQUIRED
- ㉔ 30"x30" ACCESS MATS: 22"x30" IF TAIL WALK PANS THROUGH, THROUGH CORNERED FLOORING, 24" MIN. OVER HANGING, THROUGH METRIC SPACE EXCEEDS 30" IN HEIGHT AND 30" IN AREA (R807 CRC)
- ㉕ SHOWER:
 - 32" x 32" MINIMUM SHOWER DAM MINIMUM 2", MAXIMUM 6" HIGH.
 - Showers and shower-tubs shall be provided with individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve type that provide scald and thermal shock protection. [§ 418 CPC]
 - Shower compartments shall be not less than 1,024 sq. in. and also be capable of encompassing a 36" diameter circle.
 - 72" high non-absorbent wall surface.
 - Tempered glass units required in shower, bathtub saunas or steam rooms where the sill is within 60" as measured vertically from the drain inlet.

CABINETS/ BUILT-IN'S/ ACCESSORIES

- ① WOOD SHELF AND POLE
- ② FULL HEIGHT CABINET
- ③ BASE CABINET AND COUNTER TOP
- ④ BATH ACCESSORIES: PROVIDE MINIMUM 1 TOILET PAPER HOLDER & 1 TOWEL BAR PER BATHROOM
- ⑤ PROVIDE LANDINGS OF NON-COMBUSTIBLE MATERIALS AT exterior doors equal to the width of the door and a length in the direction of travel equal to 36 inches. Slope of exterior landings shall not exceed 1/4" per foot (2% slope). [§ R311.3 CRC] 2" below door threshold
- ⑥ 42" solid railing
- ⑦ UTILITY CONNECTIONS - REFER TO SITE PLAN/ELECTRICAL PLAN FOR SIZE AND TYPE

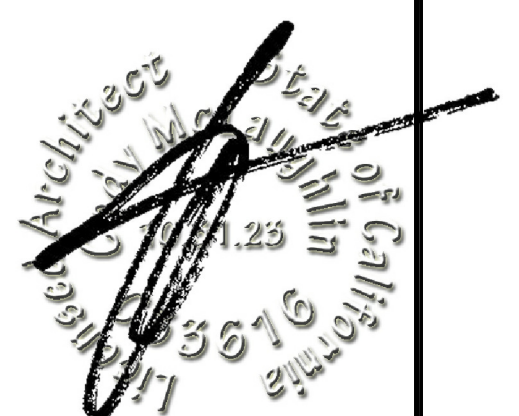
DOOR AND WINDOW LEGEND

- SD - SLIDING DOOR
- FD - FRENCH DOOR
- F - FRENCH WINDOW
- CH/C - CEILING (LEFT OR RIGHT HINGED)
- SB - SLIDING BLOOR
- HC - HOLLOW CORE
- SC - SOLID CORE
- SI - SECTIONAL GARAGE
- OS - OSGURE
- TR - TRANSOM
- L - LITD DOOR
- A - ANNING
- TM - TAMPED
- OWS - OSGURE
- TR - TRANSOM

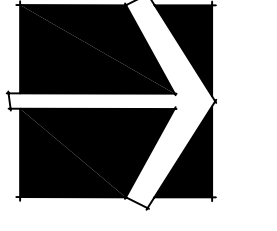
EGRESS REQUIREMENTS: SLEEPING ROOM EMERGENCY EXITS: SILL HT - 44" MAX, MIN. OPENING AREA - 5.7 SF, OPENING WIDTH - 20", MIN. OPENING HEIGHT - 24"

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Floor Plan



Lot 9 - 264 Cobble Creek Way
Arroyo Grande, California



A.1
Scale: 1" = 4'
5 May 2023

ELEVATION KEYNOTES

• KEYNOTES ONLY APPLY IF REFERENCED ON PLANS
 GENERAL
 A. SEE MATERIALS BOARD FOR ADDITIONAL INFORMATION
 B. USE APPROVED FIRESTOPS IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES & SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING & FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIALS.

- ① CONCRETE TILE ROOFING - MALIBU
- ② SMOOTH STUCCO/TRIM - WHITE
- ③ HARDIE BOARD AND BATTEN SIDING (ESR-1844) - LIGHT GREY
- ④ CULTURED STONE - HIGH PLAINS
- ⑤ VINYL WINDOWS/DOORS - BLACK
- ⑥ STANDING SEAM METAL ROOFING - CHARCOAL

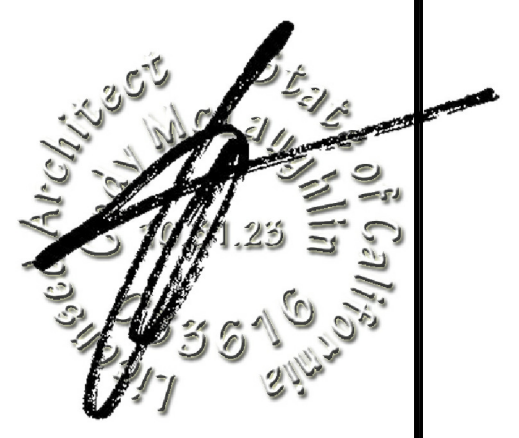


West



East

Elevations



Lot 9 - 264 Cobble Creek Way
 Arroyo Grande, California

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P.L.

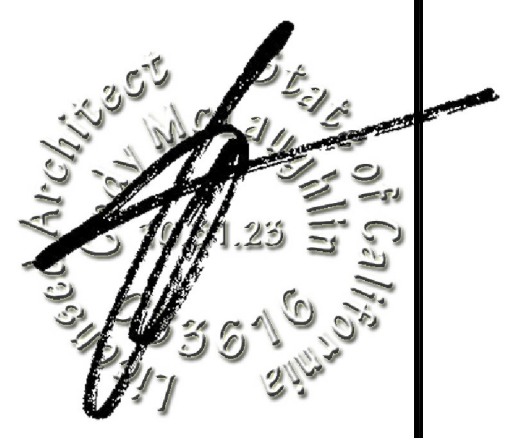


North



South

Elevations



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 Arroyo Grande, California



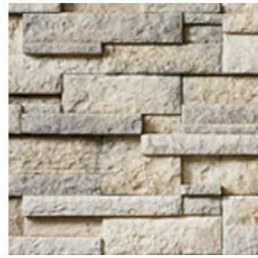
Concrete Tile -
Malibu



Stucco/Trim -
White (Smooth)



Hardie Board and
Batten - Light Grey



Cultured Stone -
High Plains



Vinyl Windows
- Black



Standing Seam
Metal Roofing
- Charcoal Grey



2985 Tract - Lot 9
Arroyo Grande, California