

The Heights at Vista Del Mar Arroyo Grande, CA



The Heights at Vista Del Mar (HVDM) Arroyo Grande, CA

Adopted December 2015
(Updated August 2017)

CITY OF ARROYO GRANDE
COMMUNITY DEVELOPMENT DIRECTOR
APPROVED

DATE: 8/8/17 INITIALS: TWK

HVDM Design Guidelines

Adopted December 2015
(Updated August 2017)



Prepared for

The *Heights* at Vista Del Mar

22 Custom Home Lots

Arroyo Grande, CA

The *Heights* at Vista Del Mar - TRACT 3048

HVDM DESIGN GUIDELINES

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I. THE HEIGHTS AT VISTA DEL MAR INTRODUCTION

The Heights at Vista Del Mar subdivision, Tract 3048, is comprised of 22 custom residential lots located above an existing home development, Vista Del Mar, which is within the City of Arroyo Grande, County of San Luis Obispo. Development of the property is subject to Tract 3048 Conditions of Approval and governed by the City of Arroyo Grande's zoning ordinances, building codes, grading codes and planning regulations. The Heights at Vista Del Mar development is also subject to the Conditions, Covenants and Restrictions of the subdivision as well as the Design Guidelines contained herein. **Property owners of lots within Tract 3048 are responsible for reviewing these conditions, requirements and guidelines prior to preparing development plans.**

II. PURPOSE OF THE DESIGN GUIDELINES

The Design Guidelines for lots within Tract 3048 of The Heights at Vista Del Mar have been prepared by The Heights at Vista Del Mar as a tool to implement certain design standards and development expectations on the property and to insure a quality product. It is expected that all designs are complimentary to and enhances the community character established within the development. These Guidelines are intended to provide site, landscape and architectural guidance for residential development proposed within Tract 3048.

The Design Guidelines for the Heights at Vista Del Mar is a manual of design directives and approval procedures for development within The Heights at Vista Del Mar subdivision. Property Owners and Applicants should familiarize themselves with this document to ensure that their proposed project is in compliance with the design standards and development expectations of The Heights at Vista Del Mar.

These Guidelines are a portion of a larger set of restrictive covenants governing development at The Heights at Vista Del Mar, the "Declaration of Covenants, Conditions, and Restrictions of The Heights at Vista Del Mar" recorded in the Office of the County Recorder of San Luis Obispo County on December 16, 2015.

Architectural Review Board

In Compliance with California Civil Code §1378, the Architectural Review Board (ARB) has adopted the following Architectural Review procedures. Any and all improvements with The Heights at Vista Del Mar, including initial construction, or improvements and any change to the exterior of their unit, shall be subject to architectural approval by the Architectural Review Board (ARB) of The Heights at Vista Del Mar Homeowners Association (TH@VDMHOA) in accordance with the provisions of The Heights at Vista Del Mar CC&Rs and these Design Guidelines.

The Architectural Review Board is comprised of volunteer citizens whose professional backgrounds are typically in the fields of design, architecture and/or real estate development. The ARB shall have

the responsibility in determining whether a project substantially complies with the Design Guidelines for Tract 3048. The ARB has considerable discretion in making that determination and can take into account special circumstances which may make the strict application of the Guidelines impractical and/or suggest alternative methods to achieve the intent of a particular Guideline standard. Grievances of decisions made by the Architectural Review Board may be appealed as described in the CC&R's for The Heights at Vista Del Mar.

The ARB members shall not be liable for damages to any person submitting plans or specifications for approval. The ARB members shall not be liable for damages to any owner by reason of mistakes in judgment, negligence or non-feasibility, failure to approve or disapprove any such plans or specifications. Architectural and landscape plans for new residential development must also be reviewed and approved by the City through the Architectural Review process prior to issuance of a building permit.

III. SITE DEVELOPMENT STANDARDS

Each lot is an important part of a larger neighborhood, and each neighborhood is a vital component of the unique development at The Heights at Vista Del Mar. Consequently, when a lot is developed it should contribute to the overall neighborhood character and compliment the development objectives of The Heights at Vista Del Mar. Each site is also unique and will present its own design challenges and opportunities. A first step in developing a plan for a project is to assess the site, its resources and constraints and the context of the site within the neighborhood.

On sloping lots or where possible, lot owners should consider multi-level custom homes, gardens, terraces, courtyards and outdoor spaces to minimize topographic disturbance. Lots with rough grades of six (6) percent or more are required to have a topographic survey prepared. For Lots 3-10, no development (except fences) or uses are allowed within the open space easement. No buildings, structures, grading, filling, or other improvements shall occur within this area. Owners shall not cut, injure or remove any vegetation from this area except for fire protection, elimination of diseased growth and similar health and safety protective measures as approved by the City. This also includes all accessory structures, gazebos and decks, which are not allowed in the open space easement.

Site Preparation

All demolition, clearing, grubbing, stripping of soil, excavation, compaction, and grading must be completed within the owner's lot. All lumber, soil, or other construction material must be stockpiled on the owner's lot or an undeveloped neighboring lot. If utilizing a neighboring lot, written permission from said lot owner must be obtained in advance.

Stockpiling must not impact landscaping or drainage systems on adjacent lots, sidewalks or streets. Any damage from stockpiling will be invoiced to the responsible party by the TH@VDMHOA. Stockpiles on adjacent lots must be screened.

Topography & Drainage

In accordance with the City of Arroyo Grande, all lot grading plans must be based on a grading plan prepared by a registered civil engineer in conformance with the latest edition of the Grading and Excavation Codes. The plan must be submitted to the ARB for review and approval prior to submittal to the City of Arroyo Grande. Approvals must also be obtained from the City of Arroyo Grande. All necessary bonds and/or deposits required by the TH@VDMHOA and the City of Arroyo Grande must be paid prior to commencing work.

The site design should follow the established contours of the site. The finished pads and slopes are to be maintained with minimum alteration to the established finished grades.

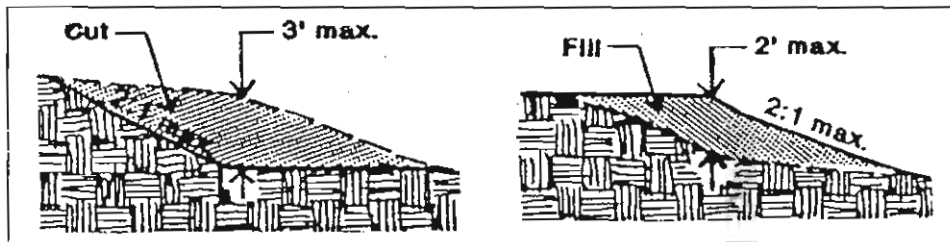
Lot owners who wish to place fill at or near the property line must first contact the City to determine if a grading permit is required, and have written permission of the adjacent or lower property owner. If cutting or filling of the side yard grade is performed, the lot owner must have a qualified soil engineer review the impact of such grading. The ARB, by consenting to any such grading, is not certifying that it is correct from an engineering or stability standpoint. The following measures are required:

- Surface drainage runoff shall be controlled and directed to existing drainage facilities.
- Debris fencing and sediment control along all lots is required during all phases of construction.
- All slope banks shall be planted to aid in erosion control and irrigated to maintain growth.

Minimize the use of abrupt changes in grade on the site and between adjoining properties. A smooth transition is preferred.



Cut and fill: Filling is discouraged; fill pads greater than two (2) feet above natural grade is prohibited. Cutting more than three (3) feet into natural grade is prohibited except within the building footprint and for the driveways, if there is no practical alternative.



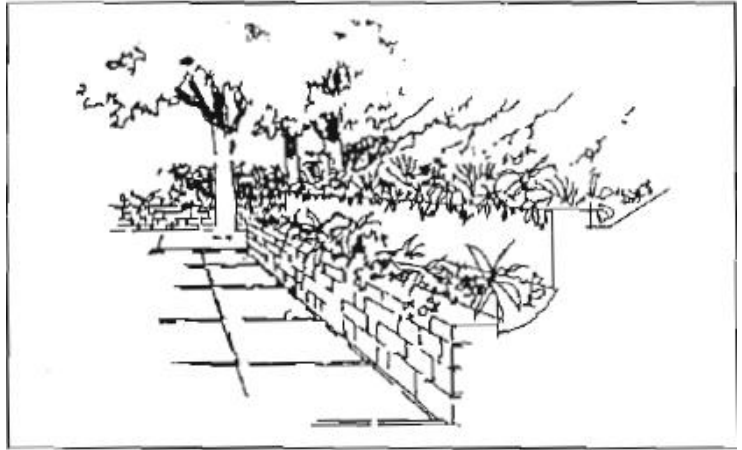
Surface drainage of paved areas must be sloped at a minimum one half (1/2) percent for concrete surfaces and two (2) percent for rough surfaces such as stone. Lots unable to meet the minimum surface drainage requirements must use a subsurface drainage system with drain inlets at adequate intervals. All above ground drainage devices must be colored to match the existing soil, landscape or hardscape color.

Retaining & Foundation Walls

The use of retaining walls shall be in accordance with City standards. Materials used for retaining walls shall be compatible with the architectural style and colors of the proposed residence.

Foundation walls within the building footprint may exceed three (3) feet if the exterior exposure is not greater than three (3) feet, or permanently screened with architectural materials that are compatible to those used in the residential project.

Retaining walls, not constructed by The Heights at Vista Del Mar tract improvements, may not exceed four (4) feet in height; parallel retaining walls must provide a minimum two (2) foot landscape area between walls. See illustration below.



Building Setbacks

When establishing setbacks and designing building footprints, applicants should provide ample space for the implementation of creative and attractive landscaped areas. Building setbacks for all structures shall adhere to the allowable building area delineated for each lot as shown on the Tract Map. All front, side and rear yard building setbacks shall be as shown on the Tract 3048 Site Layout Map (generally 25' for the front and rear, and 15' for the sides).

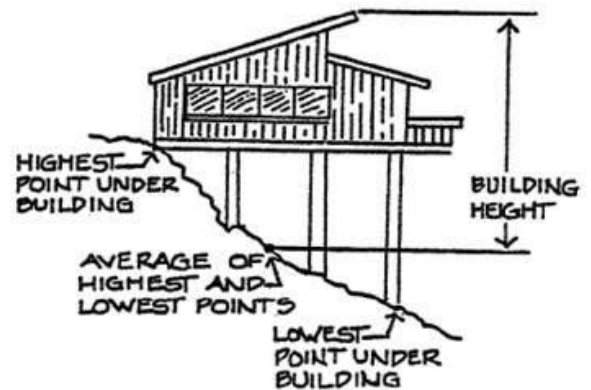
Building Height, Mass & Scale

The height, massing and scale of a house should be reflective of its site and the resources that occur throughout it. Lots 3, 4, 5, 6 and 7 are to be restricted to the maximum heights as they pertain to mean sea level (details below).

No structures shall be constructed consisting of more than two (2) stories. Structures shall be limited to a maximum height of thirty (30) feet measured from the grade average finished ground level to the highest point of the highest gable of a pitch or hip roof, but exclusive of vents, air conditioners, chimneys, or other such incidental appurtenances.

Per Condition of Approval No. 53(k), the following height restrictions shall apply to Lots 3 – 7:

- *Those portions of development on **Lot 3** that are more than 100 feet from Castillo Del Mar shall not exceed an elevation of 25 feet above natural grade.*
- *The top of any development on **Lots 4 and 5** shall not exceed an elevation of 290 feet above sea level.*
- *The top of any development on **Lots 6 and 7** shall not exceed an elevation of 295 feet above sea level.*

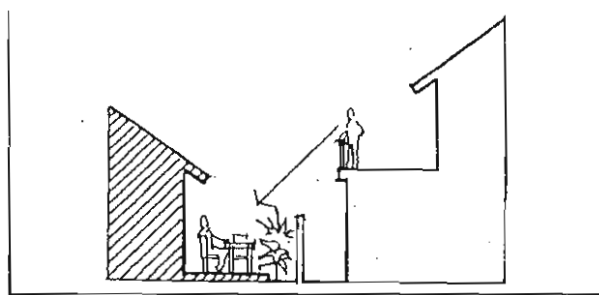


Privacy, Views, Light and Air

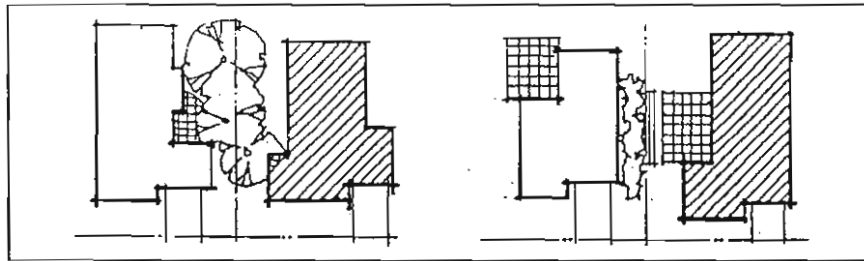
A sense of privacy and an attempt to locate buildings and massing so they will maintain views through the site from other properties should be made utilizing the following standards:

Organize functions on a site to preserve reasonable privacy for the site and for adjacent properties.

Position a building to screen active areas of adjacent properties where feasible, and locate windows and balconies such that they avoid overlooking active indoor and outdoor use area of adjacent properties.



Preserve privacy by locating and screening patios, terraces and service areas from neighboring and public views.



Parking and Access

The space devoted to parking, its surfacing and the size and design of garages need to be related to their visual impact, the use of exposed hard surfaces and the amount of dominance they contribute to the site and building design. Parking drives and garages should not dominate the site or the design of the house.

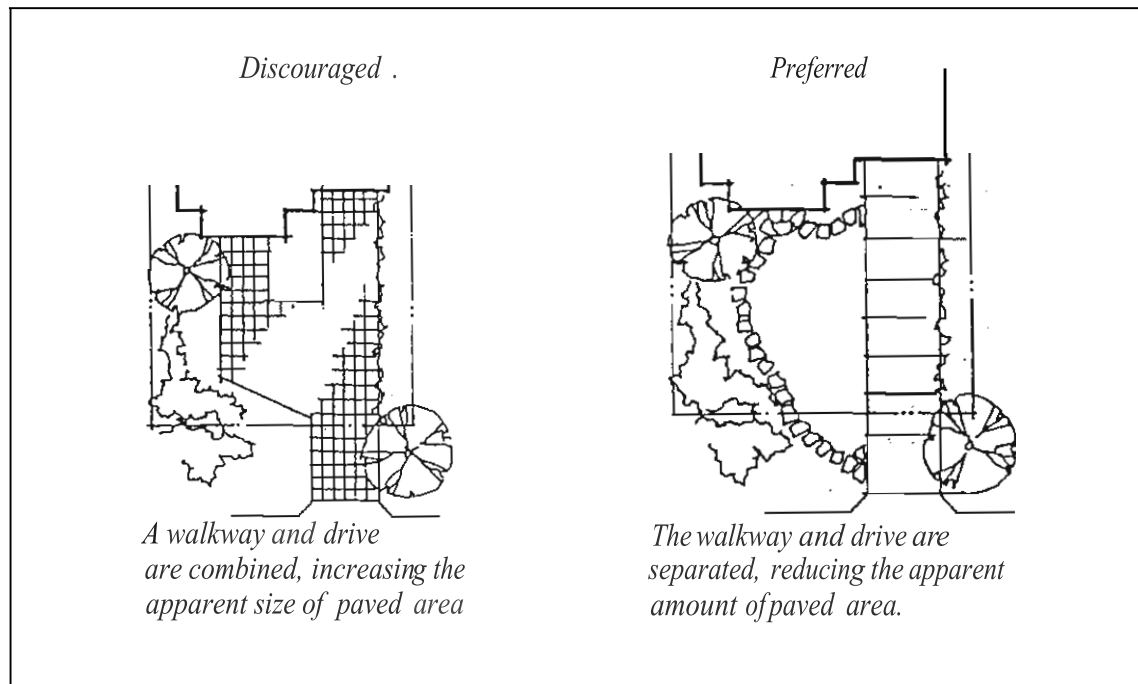
Asphalt paving within lots is not allowed. Driveways and other flat paved areas shall be colored, textured or stamped concrete, exposed aggregate concrete, paving blocks, natural stone or other similar material. The use of permeable pavers or other permeable material is encouraged.

All garages shall be side loaded unless the size and dimensions of the lot will only accommodate a front loading garage. Staggering garage doors, offsetting of the garage from the face of the house a minimum of five (5) feet, or recessing the doors to provide relief are methods to soften the impact of the garage door planes. Three (3) car garages (or larger) must apply one or more of these design techniques to one or more of the garage bay doors.

Garages should be setback five (5') feet from the front plane of the house structure except for side loading garages or corner lots which may use the applicable minimum front yard setbacks. The maximum width of a drive way at the street curb cut is eighteen (18) feet and may increase in width to provide access to the garage entrances.

Outdoor storage of recreational vehicles, boats, motorcycles, trailers, etc., is not permitted, unless such vehicles are stored in covered or enclosed structures, or located in yard areas screened from public view.

Large expanses of paving are to be avoided and drives are required to introduce the use of paving bands, paving tiles, color and texture to break up their visual impacts.



Game Courts

Game courts, if proposed, must adhere to all building setbacks for structures. Fencing for game courts shall be black plastic coated mesh only and shall be located within building setbacks. Galvanized fencing is not permitted. Windscreens for game courts shall be dark green. Fence height shall not exceed a height of six (6) feet without either a City approved Minor Exception or Variance.

No basketball backboard or other fixed sports apparatus shall be constructed or maintained without approval from the ARB. Basketball backboards are not permitted to be installed to garage structures.

Duplicate Building Plans

Duplicate building plans may be permitted if, in the opinion of the ARB, the proposed projects have made adequate design alterations, such as changes in room plan, materials of construction, color scheme, etc., so that the two finished products appears as two distinctly different structures. In assessing duplicate plans, the ARB will also consider proximity of the proposed projects and adequacy of conformance with all of the standards in the Design Guidelines.

Water Conservation

The use of water efficient plumbing fixtures, smart irrigation controllers, plumbing for grey water and on-demand water heaters should be included in any residential building project proposal. The above is by no means the only water conservation methods, but a few of note.

Stormwater Management

All proposals must comply with City Post Construction Stormwater requirements, and include discussion of stormwater best management practices (BMPs), such as detention basins, bioretention planter boxes, rain barrels, rain gardens, dry wells, disconnected downspouts, cistern water collection and storage, etc.

Energy Efficiency

Homes must include energy efficient components, such as, but not limited to, the use of passive solar, solar panels, high efficiency windows, solar water heaters (and water heating systems), compact fluorescent lights (CFLs) for outdoor lighting, and energy efficient HVAC systems.

Urban Fire Interface

All outdoor space must provide defensible space and fire safe zones. Below are references:

- San Luis Obispo County Fire Safe Council
 - <http://www.fscslo.org/>
- California's Wildland-Urban Interface Code Information
 - http://calfire.ca.gov/fire_prevention/fire_prevention_wildland_codes

IV. ARCHITECTURAL DESIGN STANDARDS

Architectural Character-Design Examples

The architectural character of The Heights at Vista Del Mar lots may utilize design styles and architectural character found in a variety of different designs; however, the chosen design must remain true to that style and include principal defining elements. The various designs and styles typically emphasize architectural elements such as the building massing, composition of forms, window proportions, doors, balconies, roof style, materials of construction and colors. The following are graphic examples of several popular architectural styles with their principal design elements briefly described.

Note that bright white exterior body colors are not allowed for any of the below architectural styles. Per Condition of Approval No. 53(n) for Tract 3048, building colors shall be similar to surrounding natural colors and no brighter than 6 in chroma and value on the Munsell Color Scale. Roof colors shall be limited to deep earth tones, deep muted reds, browns and grays. Shiny metal roofs, bright orange, red, or blue is prohibited.

CALIFORNIA MISSION

California Mission architecture typically features recessed arched window openings, one story hip and/or gable roofs with a prominent two story element. The style is usually detailed with porches and balconies and finished with stucco and stone.



SPANISH COLONIAL

Spanish colonial architecture incorporates various elements of Mediterranean architecture. Key features include using thick, stucco-clad walls; small, open windows; single-story design; limited ornamentation; wooden support beams; and inner courtyards.



MODERN CRAFTSMAN

Modern Craftsman style of architecture is typically constructed with a rough finish, attention to detail, using materials such as stone, rough-hewn wood, siding and stucco. It often features wide front entry porches supported by columns, large gables and decorative brackets or timber detailing.



TUSCAN/MEDITERRANEAN

The Tuscan/Mediterranean design style uses extensive windows, stucco exterior, archways and tile roofing, and often is detailed with entry courts, columns and balustrades.



ITALIANATE

Italianate architecture utilizes an asymmetrical, vertical proportioned design with a pronounced entry and distinctive use of loggias, balconies and eaves supported by corbels. Usually tall, rounded windows and a smooth stucco finish are used to enhance this style.



RANCH

Ranch style homes are typically constructed with moderate to wide overhangs, column lined entry porches and dormers to introduce natural light into interior spaces. Generally wood sided with brick or stone accent areas are incorporated into the design.



SPANISH

Spanish homes are usually designed with a low pitch tile roof and prominent entry, recessed or detaining around window openings with stucco exteriors and exposed rafter tails.



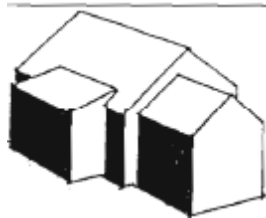
Building Forms and Massing

Building forms, materials and details should be simple and visually restrained with architectural details appearing to be authentic integral elements of the overall building design concept.

General Design Requirements

Forms, materials and details should not contrast strongly within a single building.

Building forms should be avoided that are monumental or out of scale with the rest of the building.

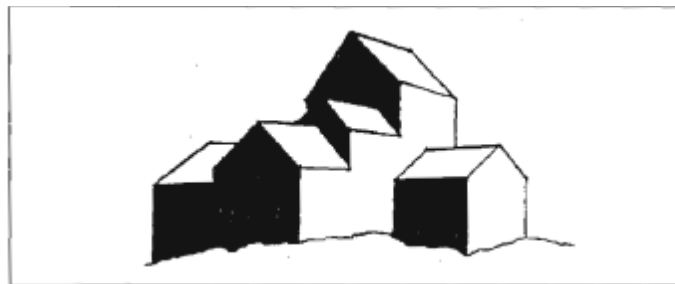


ENCOURAGED



DISCOURAGED: OVERLY COMPLEX BUILDING FORM

Roof planes should reveal or express important rooms and elements of the residence by changes in elevation or direction as demanded by the chosen architectural style.



Architectural detailing should be consistent throughout the structure and express the architectural style of the building.

Materials should be limited in variety to avoid a busy appearance.

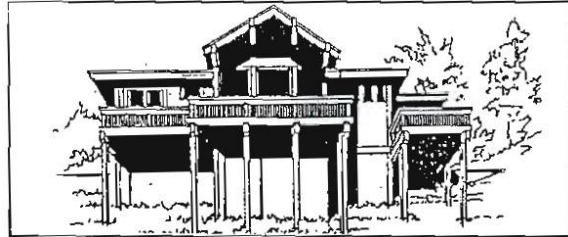
Design details and surface materials that are selected must be used throughout the full exterior of the building to maintain consistency. The application of special materials or design treatments to only the street façade is not permitted. All elevations are to be articulated equally.

Features such as chimneys, overhangs, windows, doors (including garage doors), dormers, porches, entries and decks should be designed to (1) reduce massing and scale, (2) achieve a well-integrated design with the building's compositions, and (3) be authentic to the architecture of the building. Making any of these elements oversized can exaggerate the building's scale and should be avoided.

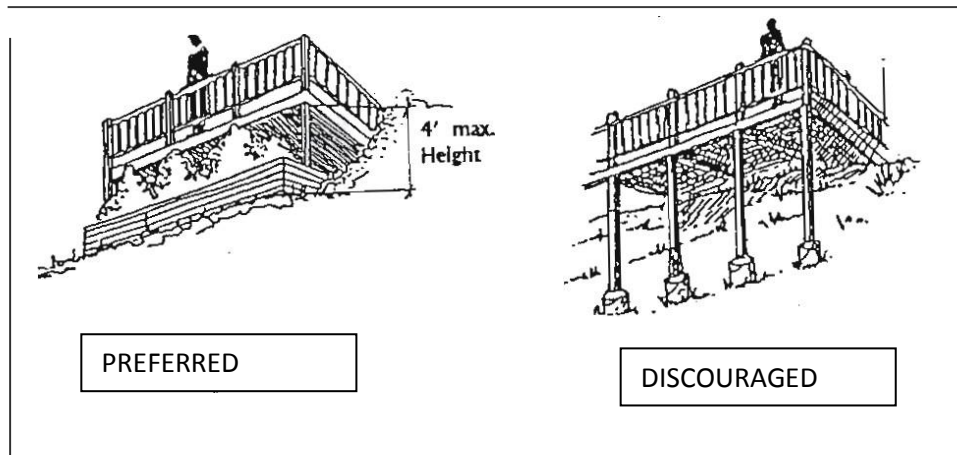
Exterior Elevations

Soften the overall building mass with architectural features such as garden walls, porches, balconies, arbors and trellises. Details and elements that appear to be applied as superficial elements should be avoided.

Overhangs and exposed under floor walls are to be avoided.



The use of tall slender posts or columns with or without cross bracing is prohibited. Posts or columns greater than four (4') in height must be concealed or constructed with increased bulk and scale.

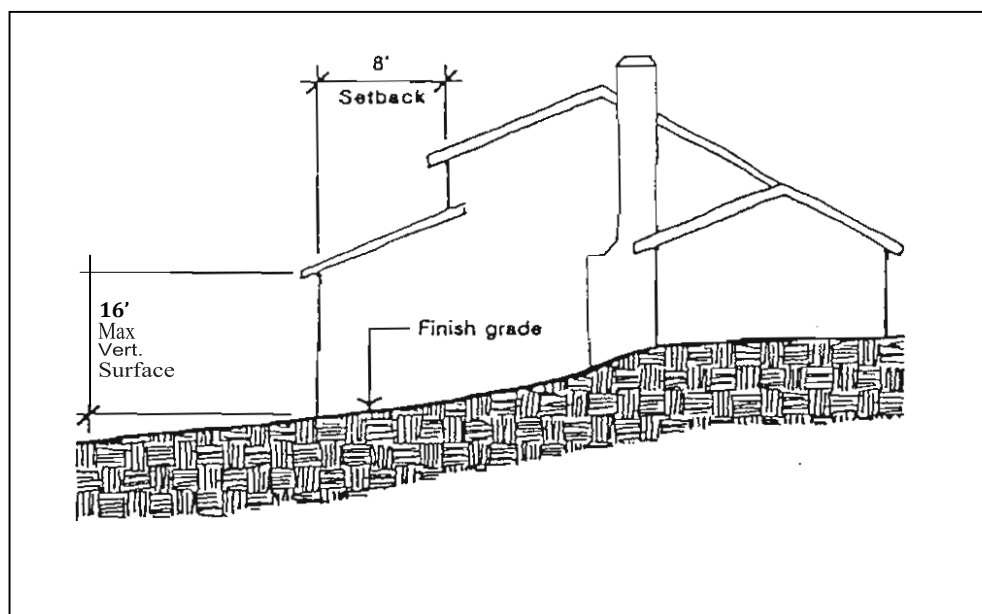


Windows on walls facing the street should convey a human scale, add visual interest and avoid unrelieved building mass.

Avoid positioning windows along a side wall that would impact the privacy of an adjacent neighbor.

As noted under the Parking and Access section on page 10, all garages shall be side loaded unless the size and dimensions of the lot will only accommodate a front-loading garage. Staggering garage doors, offsetting of the garage from the face of the house a minimum of five feet, or recessing the doors to provide relief are methods to soften the impact of the garage door planes. Three (3) car garages must apply one or more of these design techniques to one or more of the garage door bays.

Varying ridge heights and wall planes will provide a deliberate sense of proportion and scale to the building; however no single vertical wall plane may exceed 16' in height without at least one setback of at least 8' within any 16' rise unless broken up with fenestration or other architectural element.



Roof Design Requirements

Roof overhangs and eaves must be carefully detailed.

Roof forms such as mansard roofs and A-frames are not permitted. All other roof forms must be authentic to the chosen architectural style.

Gutters, Downspouts, Vents and Flashing

Gutters and downspouts should either be concealed or designed as a deliberate architectural feature. Any exposed gutters and downspouts should be painted to match the surface to which they are attached (unless material is copper or other architecturally desirable material).

All vents, pipe stacks, flashing and sheet metal are to be painted to match the surface which they are attached.

All roof drainage shall be directed to appropriate storm drain discharge points including catchment basins or other rain capture devices.

Materials of Construction

Exterior Siding

Natural materials that complement the surrounding environment are encouraged.

Materials such brick, stone, wood, light textured stucco and split-face concrete block with veneer are suitable when applied to various architectural styles.

PRIMARY MATERIALS:



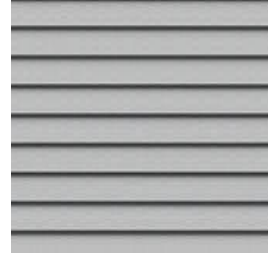
Board and Batten



Shingle Siding



Stucco



Siding

ACCENT MATERIALS:



Stucco



Brick



Stone

Synthetic siding or other synthetic materials are permitted if they convey scale and texture similar to that of traditional materials.

Inappropriate materials include highly reflective or sleek surfaces, T-111 plywood siding, precision block, metal or plastic siding and full dimensioned wood siding that has been stained and/or sealed.

Large expansive areas of stucco or glazing is not permitted unless broken up with appropriate architectural treatments.

Awnings, Patio Covers and Arbors

Metal awnings are not permitted. Fabric awnings, if used, must be compatible with the color scheme of the residence.

Solar roof-mounted Equipment:

Skylights, if used, should be designed as an integral part of the roof with their form and color blending into the building.

Permitted:



Skylights with clear or bronze glazing are encouraged. Plastic "bubble" type skylights are prohibited.

NOT Permitted:



Roofing Materials

All roof materials must be non-combustible.

Permissible roofing materials include flat, unglazed concrete tile, clay roofing tiles, slate, dimensional asphalt shingles, Mission or "S" shaped tiles and ridgeline tiles. Glazed tiles, metal shingles, metal tiles and wood shingles are not permitted as roofing materials on the entire roof plane. Roof colors shall be brown, slate, green, black, tans, creme, and slate greys.



Slate



Mission "S" Tile



Concrete Tile



Dimensional Asphalt Shingle

Doors and Windows

Garage doors should be multi-paneled with subtle adornment detail to provide shadow and relief. The use of windows in garage door panels is encouraged.



Multi-paned or French doors are encouraged.



High quality staingrade hardwood doors are preferred.

True divided light glazing with exterior mullions are preferred over internal mullions at doors and windows. Clad windows with divided lights and clear glazing are preferred.

Wood, vinyl, or painted metal window frames are most desirable. White vinyl clad window frames are discouraged.

Silver or gold metal frames and large expanses of glazing are prohibited. Dark, tinted or reflective glass is discouraged and the use of architectural treatments such as roof extensions or extended overhangs is preferred.

Windows should be appropriately trimmed throughout the full exterior and all sides of the building.

No reflective windows, roofs or wall materials are permitted, except for copper roof details.

Exterior Colors

The ARB shall approve all exterior colors and materials of construction. See the Appendix for an example of the required color board to be submitted.

Each Color scheme should include a body color, trim color and an accent color to be used on windows, doors, balustrades, trellises, shutters and fences. All homes shall be of subtle, warm, earthy tones, such as tans, browns, greys and dark greens with complementary accents compatible with a tranquil, rustic atmosphere. No bright white colors are permitted.

In general, the brighter a color, the more sparingly it should be used.

Lighting

Light fixture selections must be compatible with the architectural character of the building. Low voltage lighting is encouraged wherever possible.

No lights are permitted on the top of any structure.

The color, size and number of fixtures should be selected to compliment the structure. Light fixtures should be selected and arranged so that they illuminate downward and not into the sky or onto adjacent properties.



Preferred



Discouraged

Mechanical Equipment, Utilities, Trash Containers and Signs

All ducts, utility meters, air conditioning equipment and all other mechanical equipment, whether on the ground or elsewhere, shall be screened from public view with materials architecturally compatible to the main structure. Gas and electric meters are to be completely screened from public view.

All mechanical equipment is to be located in such a manner that noise emanating from it will not be perceptible at or beyond the property lines.

Swimming pool equipment must be fully enclosed with a solid wall and solid gate that match the color of the residence. Landscape screens or wood fences cannot be used in place of solid walls. The top of such equipment must be concealed from all views, including second floor neighboring properties. Swimming pools are not permitted in the front yard.

Antennas are not permitted. Satellite dish antennas are prohibited in front setbacks; no dish may exceed 18" in diameter and must be screened so as not to be visible from public view or neighboring properties.

Solar water panels or photovoltaic panels are encouraged but must be located so as to not cause glare or reflection onto neighboring properties.

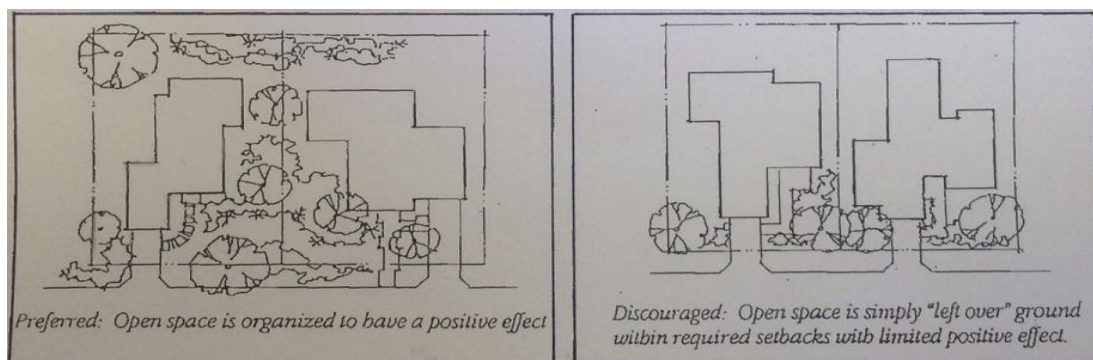
Trash containers shall be screened from public view or located in areas not visible to the public.

Approval is required from the Postal Service to have individual mail boxes. It is anticipated that a community mailbox station is required.

V. LANDSCAPE DESIGN STANDARDS

Landscape and hardscape improvements should be designed to complement neighboring development landscape improvements and be compatible with the landscape materials found elsewhere in The Heights at Vista Del Mar Development. The use of plant material, fencing and colors that are introduced to private spaces on individual lots should complement the streetscape planting, the natural surroundings and the architectural style of the structure.

Landscape improvements shall be installed in the front yard areas by property owners at the time a certificate of occupancy permit is requested. Landscape improvements elsewhere on individual lots may be phased over time, but must be installed within a one year period. An effective irrigation system and continued maintenance of all landscaped areas is required. Drought tolerant/low-water use plants should be used for all landscaping improvements, and the use of turf grass is highly discouraged. All landscaping shall comply with State and City requirements for water efficient landscaping.



Planting Material

Noxious or invasive plants are not permitted, and the use of native California plants is encouraged. A complete list of prohibited plants and trees and landscape materials, as well as a list of approved landscape plants are contained in the Plant Palate located in the Appendix of these Design Guidelines.

Landscape plans should use native plants and other species accustomed to growing in the Central Coast region of San Luis Obispo County and should be drought-tolerant in general.

Plant selections should be made to achieve several objectives, such as screening, filtering views, accenting entries, erosion control and/or glare reduction while respecting and remaining subordinate to the natural setting.

Plants should be located in relaxed, informal arrangements rather than in rigid, "soldier fashion".

All turf areas are not to exceed 25% of the total landscape area or 500 square feet, whichever is more restrictive. All landscapes shall meet the requirements of the City's Municipal Code Chapter 16.84, and the California Code of regulations Title 23 Waters, Division 2, Department of Water Resources, Chapter 2.7 Model Water Efficient Landscape Ordinance, Sections 490 et. seq.

Selection and installation of plant materials should take maintenance into account. Plant design must respect the varying irrigation requirements of plants.

Hardscape

Paving materials are encouraged that convey the colors and textures of native materials and that will reduce runoff. The use of stone, brick, decomposed granite and earth-toned pavers are appropriate. Paving materials should reinforce the architectural character of the house.



Brick



Brick in Patterns



Tile



Slate



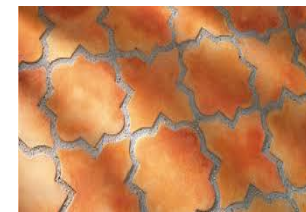
Scored Concrete



Broom Finish



Salt Finish



Concrete with Tile



Exposed Aggregate



Flagstone



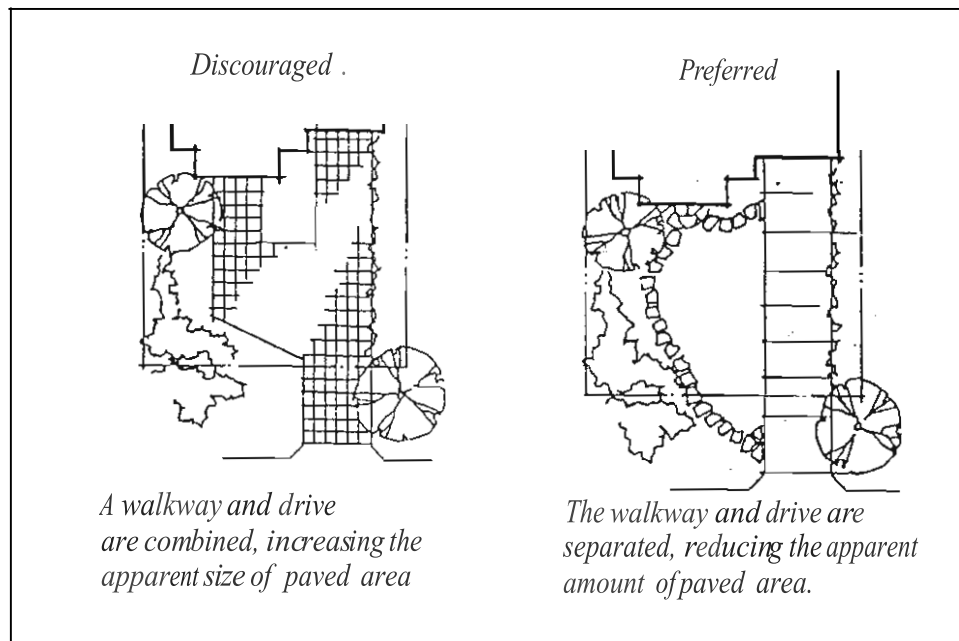
Gravel



Turfblock

The use of porous paving materials and “sand-set” versus “mortar-set” to permit percolation of water and aeration in soils is encouraged.

Avoid large, continuous areas of paving. Walkways should be integrated into the driveways or separated from it to keep the paved area from appearing wide and expansive.



Landscape Structures

Landscape structures include decks, trellises, arbors, gazebos, children’s play equipment (swing sets, slides, tree-houses, sandboxes, gymnastic apparatus, etc.). Metal and plastics are prohibited as materials for landscape structures, except for children’s play apparatus. Landscape structure must be approved by the ARB.

Brightly colored children’s play apparatus shall be screened from view of public streets and neighboring residences.

No covered or enclosed structure shall be allowed within the setbacks or open space areas.

Fencing and Garden Walls

Fencing along property lines is permitted. If proposed, fencing must adhere to the following standards:

- Fencing must not interfere with any easements as shown on the recorded map for Tract 3048.
- Rear lot line fencing is allowed to install a gate in fenced areas. Lot line fencing may be constructed of a solid board fence that must transition to The Heights at Vista Del Mar wrought iron fence design within the twenty (20) foot rear property line.
- Solid board fencing must be finished on both sides.

Fencing is not to exceed six feet (6') in height unless it is integral to the structure and creates courtyard or patio spaces. Any retaining wall with fencing on top cannot exceed six (6') in height without an approved City permit. A property owner can apply for a Minor Exception for a wall/fence height up to eight feet (8'). An approved Variance is required for any wall/fence height exceeding eight feet (8').

Side yard fencing must be set back a minimum of five feet (5') from the nearest building face before returning perpendicular to the building wall, except for fences along the same plane of a building wall when the same building material is used on the fence and house (i.e. garden walls).

All designs and materials of other fencing and garden walls must be compatible with the architectural style and materials of the home, neighboring lots and character of the surrounding improvements.

Chain link, precision block and slump stone in particular are prohibited materials for fence or retaining wall/garden walls.

Other fencing may be installed within the lot in order to create a more secluded area of privacy (spa area, outdoor dining, play area, pet enclosure, etc.).

Per Condition of Approval No. 53(l)(ii) for Tract 3048, all fencing proposed for the area *outside of the building limit line* for Lots 4 – 10 shall conform to the following:

1. No proposed fencing shall be constructed of solid, flat planes;
2. Fence colors shall be similar to surrounding natural colors; and
3. White paint or other white materials is prohibited.

VI. THE DESIGN REVIEW PROCESS

Overview

Architectural improvements proposed for all properties within The Heights at Vista Del Mar must be approved by The Heights at Vista Del Mar Architectural Review Board and a building permit issued by the City of Arroyo Grande Building Division prior to any development improvements on a property. Site development and landscape improvements that do not require a permit from the City must still be reviewed and approved by the Architectural Review Board. The City requires an Architectural Review Permit for any proposed new residence, to be reviewed by the City's Architectural Review Committee and approved by the Community Development Director.

Plan Preparation

The Design Guidelines are to be used in conjunction with the Declaration of Covenants, Conditions and Restrictions of The Heights at Vista Del Mar, as well as applicable planning and building regulations of the City of Arroyo Grande, County of San Luis Obispo and the State of California that govern improvements made at The Heights at Vista Del Mar. Property Owners and their design consultants are responsible for reviewing these documents and developing compliance with the City's land use regulations, the conditions of development for The Heights at Vista Del Mar and the requirements of the Design Guidelines.

For information of County and State regulations, contact the City of Arroyo Grande Community Development Department at (805) 473-5420.

Pre-Application Meeting

Property Owners and/or their agents are encouraged to schedule one or more informal meetings with the Architectural Review Board (ARB) to discuss and present design concepts, clarify requirements and procedures, and facilitate a clear understanding of the development expectations at The Heights at Vista Del Mar.

Informal meetings or “courtesy reviews” of schematic design proposals do not require a formal application, advance noticing or specific plan format and are held the same day as regularly scheduled ARB meetings.

There are no fees charged for pre-application review meetings.

Design Submittal - Review and Procedures

- Notification Required: For an item to be placed on the ARB’s agenda, Applicants must notify the ARB by submitting **Form A – Request for Design Review Hearing**, located in the Appendix of The Heights at Vista Del Mar Design Guidelines. This form may be mailed or faxed to the ARB as described on the form. You may contact The Heights at Vista Del Mar Sales Office to verify items scheduled for the forthcoming ARB Review hearings.
- Architectural Review Procedures: The Architectural Review Board agenda and the Architectural Design Review hearing will be coordinated by an ARB representative and attended by the ARB and Applicant/Property Owner.

The Design Review hearing will evaluate the proposed project for compliance with the Design Guidelines and (a) approve, (b) approve with conditions, (c) continue with redesign suggestions, or (d) disapprove the application. Submittals with conditions are considered approved once they meet the required conditions.

In the event that a Design Submittal is not approved, the ARB will clearly state the basis for the disapproval. If the Applicant/Property Owner believes they cannot make revisions which will satisfy the Committee, the Applicant/Property Owner may appeal the determination of the ARB to the Board of Directors of The Heights at Vista Del Mar Homeowner’s Association.

Once the ARB has approved the Design Submittal, and the City has approved the Architectural Review permit, the Applicant/Property Owner may proceed to the Construction Document phase of the approval process. Construction documents must be stamped “Approved for Construction” or an approval letter presented to the City with the construction document plan package for a building permit to be issued by the City. The stamp can be obtained from the Design Committee anytime following the approval of a project design at a Design Review Hearing.

Design Application Materials Required

Design documents that are submitted for review by the ARB must include the following materials. Failure to provide all of the required information will not enable any action to be taken on the project and re-noticing, resubmittal and rescheduling will be necessary. Applications that are determined to be incomplete may be reviewed by the ARB in the same way as Pre-application review items, but no action will be taken.

Form B – Design Submittal (one copy @ 8 ½” x 11”) – Form B is located in the appendix of the Design Guidelines.

Form C – Construction Protocol Agreement (one copy @ 8 ½" x 11") – Form C is located in the Appendix of the Design Guidelines.

Filing Fee (\$500.00); (Payee: _____). (Note: This fee does not apply to any fees charged by the City of Arroyo Grande through their building and Architectural Review permit process).

Design Plan Documents. One (1) complete plan set presented on 24" x 36" format. The title block must identify the Property Owner, Designer and property description and plans must contain all of the following:

- Site Plan – accurately show existing vegetation, proposed building footprint with lot lines and setbacks dimensioned, hardscape layout (driveway, walkways), utility line connections, location of trash and mechanical equipment, preliminary grading/drainage plan, conceptual landscape information, if known (proposed tree, shrubbery, turf and fenced areas).
- Any proposed tree removal requires an approved tree removal permit from the City.
- Site Section (s) – with lot lines and building locations accurately shown, existing proposed contour lines identified, finish floor elevations and height of structure above grade shown. Several sections may be necessary to describe the building's location on the site.
- Building Floor Plans – include overall dimensions with square footage summaries of residential areas, garage, decks and covered porches.
- Building Elevations – graphically describe each side of the structure with notes of building height, roof pitches, and materials of construction, exterior light fixture locations, finishes and assembly details.
- Lighting Plan – include location and type of exterior fixtures with an 8 ½"x 11" copy of manufacturer examples.
- Color and Materials Board – identify all exterior colors and materials including paint, wood, roofing, stucco, veneers, window trim colors, etc. Submit one 8 ½"x11" color copy with the application package. See Appendix for an example of an acceptable color board.

As stated above, the Architectural Review Board will evaluate the proposed project with compliance with the Design Guidelines and (a) approve, (b) approve with conditions, (c) continue with redesign suggestions, or (d) disapprove the application. Submittals with conditions are considered approved once they meet the required conditions. Approved or conditionally approved applications will be filed by lot number and kept in The Heights at Vista Del Mar HOA storage. Approval by the ARB does not constitute an approval by the City. A separate Architectural Review application process is required by the City before a building permit can be issued. It is recommended that approval from the ARB be obtained before applying for an Architectural Review permit with the City.

Construction Documents Submittal

When completed, the Construction Document plan package will be submitted by the Applicant/Property owner to an Architectural Review Board representative for verification of substantial compliance with the approved Design Submittal. If the Construction Document plan package complies with the approved

design, the Architectural Review Board representative will stamp the Construction Document set as “Approved for Construction” and the Applicant/Property Owner can then submit the Construction Documents to the City of Arroyo Grande Community Development Department for plan check and issuance of a City Building Permit. In lieu of a stamped plan set, the ARB approval letter may be submitted with the plans.

If the Construction Document plan package is not in compliance or substantially deviates from the approved Design Submittal that is on file, the project must again be reviewed by the Architectural Review Board, in the manner described above.

There will be a \$500.00 fee charged for projects that must be reconsidered by the Architectural Review Board. Minor and incidental changes, such as changes of Colors and materials, window types, minor architectural details, etc., may be required to be reviewed by the Architectural Review Board; however the \$500.00 reconsideration fee would not be charged. These minor and incidental changes could be brought before the ARB without prior notice, much like Pre-Application Review items.

Landscape Plan Review

Landscape Plans may be submitted with the Construction Document plan package or they may be submitted at a later day, but no less than sixty (60) days prior to the completion of the residence. However, the City requires that a landscape plan be submitted as part of the Architectural Review permit process. The Architectural Review Board representative shall review and provide the Applicant with a determination within thirty (30) days of the submittal date.

If revisions are required, the Applicant shall resubmit the Plan within fifteen (15) days of the date the initial determination was received and a decision on the revised plan shall be provided within fifteen (15) days of the resubmitted date.

The following minimum information shall be provided:

- All landscape plans are to be drawn to scale.
- Include a plant list with both botanical and common names.
- Include ground cover types, whether planting seed, mulch or other landscape surfaces.
- Lawn areas are not to exceed 25% of the total landscape area or 500 square feet, whichever is more restrictive.
- Provide quantities of total areas of landscape surfaces (including lawns).
- Provide irrigation plans that are drawn to scale.
- Irrigation plans shall employ low water use technology.

Project Completion

At any time during the construction or upon completion of any construction or reconstruction, if the Architectural Review Board, or its duly authorized representative, is made aware of and determines that such construction, or installation was not done in substantial compliance with the approved Plans and Specifications, it shall notify the Property Owner in writing of such non-compliance, specifying particulars of non-compliance and shall require the Property Owner to remedy such non-compliance.

APPENDIX

EXHIBIT 1 - THE HEIGHTS AT VISTA DEL MAR WROUGHT IRON FENCE DESIGN



EXHIBIT 2 - COLOR & MATERIALS BOARD EXAMPLE



Roof	Pioneer SL503 Cobblestone Green Slate Profile
Fascia	SW-2237
Corbels	SW-2901
Windows	Milgard Off-white or Beige
Main Body	SW-2017
Bottom of Body	SW-2076

EXHIBIT 3 - LANDSCAPE MATERIALS & PLANT PALETTE

A. Prohibited Landscape Plants, Trees & Materials

- All categories of invasive ground cover
- Heavily reseeding plants
- Spanish Broom (*Spartium junceum*)
- Mexican Feather Grass
- Pampas Grass
- Tree of Heaven (*Ailanthus altissima*)
- Monterey Pines
- Blue Gum Eucalyptus
- Italian Cypress
- Lava Rock and White Rock with sparkles

B. Suggested Landscape Plants & Trees

All plants on the following list are on the WUCOLS IV (Water Use Classification of Landscape Species; website: <http://ucanr.edu/sites/WUCOLS/>) and are identified as being low water using plants, except as marked with an asterisk. Asterisk denotes a medium water using plant. All plants selected are known to be deer resistant, but deer do browse and the landscape architect cannot be held responsible for their actions.

Trees

AESCLUS CALIFORNICA (CALIFORNIA BUCKEYE)
ALBIZIA JULIBRISSIN (SILK TREE)
ARBUTUS MARINA (MARINA MADRONE)
ARBUTUS UNEDO (STRAWBERRY TREE)
ARCTOSTAPHYLOS "LESTER ROWNTREE" (TREE MANZANITA)
ARCTOSTAPHYLOS MANZANITA "DR. HURD" (COMMON MANZANITA)
CALOCEDRUS DECURRENS (INCENSE CEDAR)*
CEANOTHUS "LOUIS EDMUNDS" (MOUNTAIN LILAC)
CEANOTHUS "RAY HARTMAN" (MOUNTAIN LILAC)
CERCIS OCCIDENTALIS (WERTERN REDBUD)
CHILOPSIS LINEARIS (DESERT WILLOW)
COTINUS COGGYRIA "ROYAL PURPLE" (ROYAL PURPLE SMOKE TREE)
CUPRESSUS MACROCARPA (MONTEREY CYPRESS)
ERIOBOTYRA DEFLEXA (BRONZE LOQUAT)
FEIJOA SELLOWIANA (PINEAPPLE GUAVA)
HETEROMELES ARBUTIFOLIA (TOYON)
LAGERSTROMIA INDICA (CRAPEMYRTLE)
LYONOTHMUS FLORIBUNDUS ASPLENIFOLIUS (CATALINA IRONWOOD)
OLEA EUROPAEA "SWAN HILL" (FRUITLESS OLIVE)
PISTACHIA CHINENSIS (CHINESE PISTACHE)
QUERCUS AGRIFOLIA (COAST LIVE OAK)
QUERCUS LOBATA (VALLEY OAK)

Shrubs

ARCTOSTAPHYLOS "SUNSET" (SUNSET MANZANITA)
ARCTOSTAPHYLOS BAKERI "LOUIS EDMUNDS" (LOUIS EDMUNDS MANZANITA)
ARCTOSTAPHYLOS DENSIFLORA "HOWARD McMINN" (MANZANITA)
ARCTOSTAPHYLOS DENSIFLORA "SENTINEL" (SENTINAL MANZANITA)

ARTEMISIA "POWIS CASTLE" (WORMWOOD)
 ARTEMISIA CALIFORNICA "CANYON GRAY" (CALIFORNIA SAGEBRUSH)
 BERBERIS THUNBERGII (JAPANESE BARBERRY)
 CARISSA MACROCARPA (NATAL PLUM)
 CEANOTHUS "CONCHA" (MOUNTAIN LILAC)
 CEANOTHUS "DARK STAR" (MOUNTAIN LILAC)
 CEANOTHUS "FROSTY BLUE" (MOUNTAIN LILAC)
 CEANOTHUS BARKERI "LOUIS EDMUNDS" (MOUNTAIN LILAC)
 CEANOTHUS THYRSIFLORUS "SKYLARK" (MOUNTAIN LILAC)
 DODONAEA VISCOSA (HOP SEED)
 FREMONTODENDRON "CALIFORNIA GLORY" (FLANNEL BUSH)
 GARRYA ELIPICA (FREMONT SILKTASSEL)
 HETEROMELES ARBUTIFOLIA (TOYON)
 HYPERICUM "HIDCOTE" (HIDCOT ST. JOHN'S WORT)
 LANTANA CAMARA (LANTANA)
 LAURUS NOBILIS (SWEET BAY)
 Leucophyllum frutescens (Texas Sage)
 MAHONIA PINATA "KEN HARTMAN" (CALIFORNIA HOLLY GRAPE)
 MYRICA CALIFORNICA PACIFIC WAX MYRTLE
 NANDINA DOMESTICA (HEAVENLY BAMBOO)
 PLUMBAGO AURICULATA (CAPE PLUMBAGO)
 PRUNUS ILICIFOLIA (HOLLYLEAF CHERRY)
 RHAMNUS CALIFORNICA (COFFEEBERRY)
 RHAMNUS CROCEA (REDBERRY)
 RHUS INTEGRIFOLIA (LEMONADE BERRY)
 RHUS OVATA (SUGAR BUSH)
 RIBES SANQUINEUM GLUTINOSUM (PINK WINTER CURRANT)
 RIBES SPECIOSUM (FUCHSIA FLOWERED GOOSEBERRY)
 ROSA CALIFORNICA (CALIFORNIA WILD ROSE)
 WESTRINGA FRUTICOSA (COAST ROSEMARY)

Vines

BOUGAINVILLEA SPECIES (BOUGAINVILLEA)
 CAMPSIS TAGLIABUANA (TRUMPET CREEPER)
 MACFADYENA UNGUIS-CATI (CAT'S CLAW)
 ROSA BANKSIAE "LUTEA" (LADY BANKS' ROSE)
 VITIS CALIFORNICA (CALIFORNIA WILD GRAPE)

Ground Covers, Perennials & Small Shrubs

ACACIA REDOLENS (Desert Carpet)
 ACHILLEA MILLEFOLIUM (COMMON YARROW)
 ANIGOZANTHOS FLAVIDUS (KANAGAROO PAW)
 AQUILEGIA FORMOSA (WESTERN COLUMBINE)
 ARMERIA MARITIMA (SEA PINK)*
 ARTEMISIA species (WORMWOOD)
 ASCLEPIAS CALIFORNICA (CALIFORNIA MILKWEED)
 ASTERISCUS MARITIMUS (GOLD COIN DAISY)
 BACCHARIS PILULARIS "PIGEON POINT" (DWARF COYOTE BUSH)
 BERBERIS THUNBERGII "CRIMSON PYGMY" (DWARF JAPANESE BARBERRY)
 CALLISTEMON "LITTLE JOHN" (DWARF BOTTLE BRUSH)
 CERATOSTIGMA PLUMBAGINOIDES (DWARF PLUMBAGO)

CISTUS SPEICES (ROCKROSE)
 CONVULVULUS MAURITANICUS GROUND MORNING GLORY)
 COPROSMA X KIRKII (CREEPING COPROSMA)
 COTONEASTER SPECIES (COTONEASTER)
 DIETES BICOLOR (FORTNIGHT LILY)
 ERGERON GLAUCUS (SEASIDE DAISY)
 ERIOGONUM SPECIES (BUCKWHEAT)
 ERYSIMUM SPECIES (WALLFLOWER)
 EURYOPS (EURYOPS DAISY)
 GALVEZIA SPECIOSA (ISLAND BUSH SNAPDRAGON)
 GELSEMIUM SEMPERVIRENS (YELLOW JESSAMINE)
 HEUCHERA SPECIES (ALUM ROOT)
 JUNIPERUS CONFERTA (SHORE JUNIPER)
 KNIPHOFIA UVARIA (RED-HOT POKER)
 LANTANA MONTEVIDENSIS (SPREADING LANTANA)
 LAVANDULA SPECIES (LAVANDER)
 MAHONIA REPENS (CREEPING OREGON GRAPE)
 MIMULUS AURANTIACUS (MONKEY FLOWER)
 MYOPORUM PARVIFOLIUM (PROSTRATE MYOPORUM)
 PENSTEMON CENTRANTHIFOLIUS (SCARLET BUGLER)
 PENSTEMON HETEROPHYLLUS 'MARGARITA BOP' (BLUE BEDDER)
 ROMNEYA COULTERI "WHITE CLOUD" (MATILIJ POPPY)
 ROSEMARINUS "PROSTRATUS" (DWF. ROSEMARY)
 SALVIA "POZO BLUE" (POZO BLUE SAGE)
 SALVIA CLEVELANDII (CAL. BLUE SAGE)
 SALVIA LEUCOPHYLLA (PURPLE SAGE)
 SALVIA MELLIFERA (BLACK SAGE)
 SALVIA SPATHACEA (HUMMINGBIRD SAGE)
 SATUREJA DOUGLASII (YERBA BUENA)
 TEUCRIUM CHAMAEDRYIS (GERMANDER)
 ZANTEDESCHIA (CALLA LILY)*
 ZAUSCHNERIA SPECIES (CALIFORNIA FUCHSIA)

Ornamental Grasses

CALAMAGROSTIS SPECIES (REED GRASS)
 CAREX SPECIES (SEDGE)*
 FESTUCA CALIFORNICA (CALIFORNIA FESCUE)
 FESTUCA GLAUCA (BLUE FESCUE)
 FESTUCA IDAHOENSIS FESTUCA MAIREI (ATLAS FESCUE)
 FESTUCA MAIREI (ATLAS FESCUE)
 HELICTOTRICHON SEMPERVIRENS (BLUE OAT GRASS)
 JUNCUS EFFUSUS PACIFICUS (SOFT RUSH)
 JUNCUS PATENS (WIRE GRASS)
 LEYMUS CONDENSATUS "CANYON PRINCE" (LYME GRASS)
 LEYMUS TRITICOIDES (CREEPING WILD RYE)
 MUHLENBERGIA CAPILLARIS (PINK MUHLY GRASS)
 MUHLENBERGIA DUBIA (PINE MUHLY)
 MUHLENBERGIA RIGENS (DEER GRASS)

Cacti & Succulents

AGAVE AMERICANA (CENTURY PLANT)

AGAVE ATTENUATA (FOX TAIL AGAVE)
AGAVE 'BLUE GLOW' (BLUE GLOW AGAVE)
AGAVE OVATIFOLIA (WHALE'S TONGUE AGAVE)
AGAVE PARRYI (MESCAL AGAVE)
AGAVE VICTORIA-REGINAE (QUEEN VICTORIA AGAVE)
ALOE MACULATA (SOAP ALOE)
ALOE NOBILIS (GOLDEN TOOTHED ALOE)
ALOE STRIATA (CORAL ALOE)
DASYLIRION WHEELERI (BLUE DESERT SPOON)
DELOSPERMA COOPERI (COOPER'S HARDY ICE PLANT)
DELOSPERMA NUBIGENUM (HARDY YELLOW ICE PLANT)
ECHEVERIA AGAVOIDES 'LIPSTICK' OR 'ROMEO' (CARPET ECHEVERIA)
ECHEVERIA IMBRICATA or ELEGANS (HEN AND CHICKS)
HESPEROYUCCA WHIPPLE (OUR LORD'S CANDLE)
NOLINA MICRODCARPA (BEAR GRASS)
SENECIO MANDRALISCAE (BLUE FINGER)
YUCCA BACCATA (BANANA YUCCA)
YUCCA FLACCIDA "VARIEGATA" (VARIEGATED YUCCA)

VIII. FORMS

FORM A - REQUEST FOR DESIGN REVIEW HEARING

RETURN FORM TO :
(Please print legibly; Mail or FAX as shown)

The Heights at Vista Del Mar ARB
PO Box 2331 Pismo Beach, CA 93448

APPLICATION TYPE {check all that apply}

- ☐ **New Construction Design Review Submittal**
- ☐ **Reconsideration of Approved Design Submittal**
- ☐ **Landscape Plan**
- ☐ **Addition or Alteration of Existing Improvements**

APPLICANT INFORMATION

Property Owner: _____

Mailing Address: _____

Daytime Phone: _____

FAX No: _____

E-Mail address: _____

Applicant Agent: _____

Mailing Address: _____

Daytime Phone: _____

FAX No: _____

E-Mail: _____

PROPERTY INFORMATION

Property Address: _____

Assessor Parcel Number: _____

Tract & Lot No: _____

PROJECT INFORMATION

Description of Proposed Improvements: _____

LEGAL DECLARATION

I, the Owner of record of this property, consent to the name Applicant/Agent to act on my behalf in connection with this matter. I have completed this form accurately and declare that all statements here are true.

Property Owner signature: . _____

. Date: _____

FOR OFFICE USE ONLY

Date Received: _____

ARB Date/Representative: _____

Comment: _____

FORM B - DESIGN SUBMITTAL

SUBMIT WITH PLAN DOCUMENTS TO:

(Please print legibly; Provide one set of plans, application form, color board and protocol form)

The Heights at Vista Del Mar ARB

PO Box 2331 Pismo Beach, CA 93448

ARCHITECTURAL DESIGN COMMITTEE RESPONSIBILITIES

Architectural improvements proposed for all properties within The Heights at Vista Del Mar must be approved by The Heights at Vista Del Mar Architectural Review Board and a building permit issued by the City of Arroyo Grande Building Division prior to any development improvements on a property. Site development and landscape improvements that do not require a permit from the City must still be reviewed and approved by the Architectural Review Board.

ARCHITECTURAL REVIEW COMMITTEE PROCEDURES

The Architectural Review Board agenda and the Architectural Review Hearing will be coordinated by an Architectural Review Board representative and attended by the ARB and Applicant/Property Owner. The Design Review hearing will evaluate the proposed project for compliance with the Design Guidelines, then (a) approve (b) approved with conditions (c) continue with redesign suggestions or (d) disapprove the application. Submittals with conditions are considered approved once they meet the required conditions.

APPLICATION TYPE (check all that apply)

☐ **New Construction Design Review Submittal**

☐ **Landscape Plan**

☐ **Reconsideration of Approved Design Submittal**

☐ **Add-on or Alteration**

☐ **Improvements**

APPLICANT INFORMATION

Property Owner:

Mailing Address:

Daytime Phone:

FAX No:

E-Mail:

Applicant / Agent:

Mailing Address:

Daytime Phone:

FAX No:

E-Mail:.

PROPERTY INFORMATION

Property Address : _

Assessor Parcel Number:

Tract & Lot No:

DESIGN SUBMITTAL MATERIALS REQUIRED:

Design documents that are submitted for review by the Architectural Review Board must include the following materials: Failure to provide any of the required information will not enable any action to be taken on the project and re-noticing, resubmittal and rescheduling will be necessary. Applications that are determined to be incomplete may be reviewed by the Architectural Review Board in the same way as Pre-Application review items, no action will be taken.

1. **Form B- Design Submittal** (one copy @ 8 1/2" x 11") - Form B is located in the Appendix of the Design Guidelines.
2. **Form C - Construction Protocol Agreement** (one copy @ 8 1/2" x 11") - Form C is located in the Appendix of the Design Guidelines.
3. **\$500.00 Filing Fee (Payee: _____)**. (Note: This fee does not apply to any fees charged by the City of Arroyo Grande through their Architectural Review and/or building permit process).
4. **Design Plan Documents.** One (1) complete plan set presented on 24' x 36" format. The title block must identify the Property Owner, Designer and property description and the plans must contain all of the following:

Site Plan – accurately show existing vegetation, proposed building footprint with lot lines and setbacks dimensioned, hardscape layout (driveway, walkways), utility lines and setbacks dimensions, hardscape layout (driveway, walkways, utility line connections, location of trash and mechanical equipment, preliminary grading/drainage plan, conceptual landscape information, if known (proposed tree, shrubbery, turf and fenced areas).

Site Section (s) – with lot lines and building locations accurately shown, existing and proposed contour lines identified, finish floor elevations and height of structure above grade shown. Several sections may be necessary to describe the building's location on the site.

Building Floor Plans – include overall dimensions with square footage summaries of residential areas, garage, decks and covered porches.

Building Elevations - graphically describe each side of the structure with notes of building height, roof pitches, and materials of construction, exterior light fixture locations, finishes and assembly details.

Lighting Plan - include location and type of exterior fixtures with and 8 1/2" x 11" copy of manufacturer examples.

Color and Materials Board - identify all exterior colors and materials including paint, wood, roofing, stucco, veneers, etc. Submit one (1) 8 1/2" x 11" color copy with the application package. See Exhibit 2 of the Appendix for an example of an acceptable color and materials board.

APPLICANT'S ACKNOWLEDGEMENT

I certify that to the best of my knowledge that the information contained in this submittal is true and correct.

Property Owner / Agent name: _____ **Date:** _____

Property Owner / Agent signature: _____

FORM C - CONSTRUCTION PROTOCOL

The Property Owner, as principal, shall be responsible for all activities or omissions of the assigned consultants, contractors, subcontractors, suppliers and workmen. Each person or company who will be undertaking any form of construction activity at The Heights at Vista Del Mar agrees to the following:

- i. Construction activities shall be permitted between 7:00AM to 6:00PM, Monday through Saturday and from 9:00AM to 4:00PM on Sunday.
- ii. No loud radios or excessive construction noise will be allowed on the job site.
- iii. No alcoholic beverages or illegal drugs shall be tolerated on the job site at any time.
- iv. Dogs or other pets belonging to contractors, subcontractors and/or their employees are not permitted on the job site at any time.
- v. All building materials shall be stacked or stored on the lot owner's specific lot and not on an adjoining property or in the street or sidewalk, unless specific permission has been obtained by said lot owner.
- vi. There shall be no trespassing across the adjoining lots or common areas.
- vii. Temporary portable toilet facilities shall be on the job site and properly maintained throughout the duration of construction.
- viii. A receptacle for trash accumulation and construction debris recycling along with a scheduled weekly pick up shall be provided for the job site at all times.
- ix. The owner and contractor shall assume full responsibility for clean-up or any windblown or storm driven garbage, materials and refuse.

_____ Buyer/Property Owner	_____ Date	_____ Contact
_____ Buyer/Property Owner	_____ Date	_____ Contact