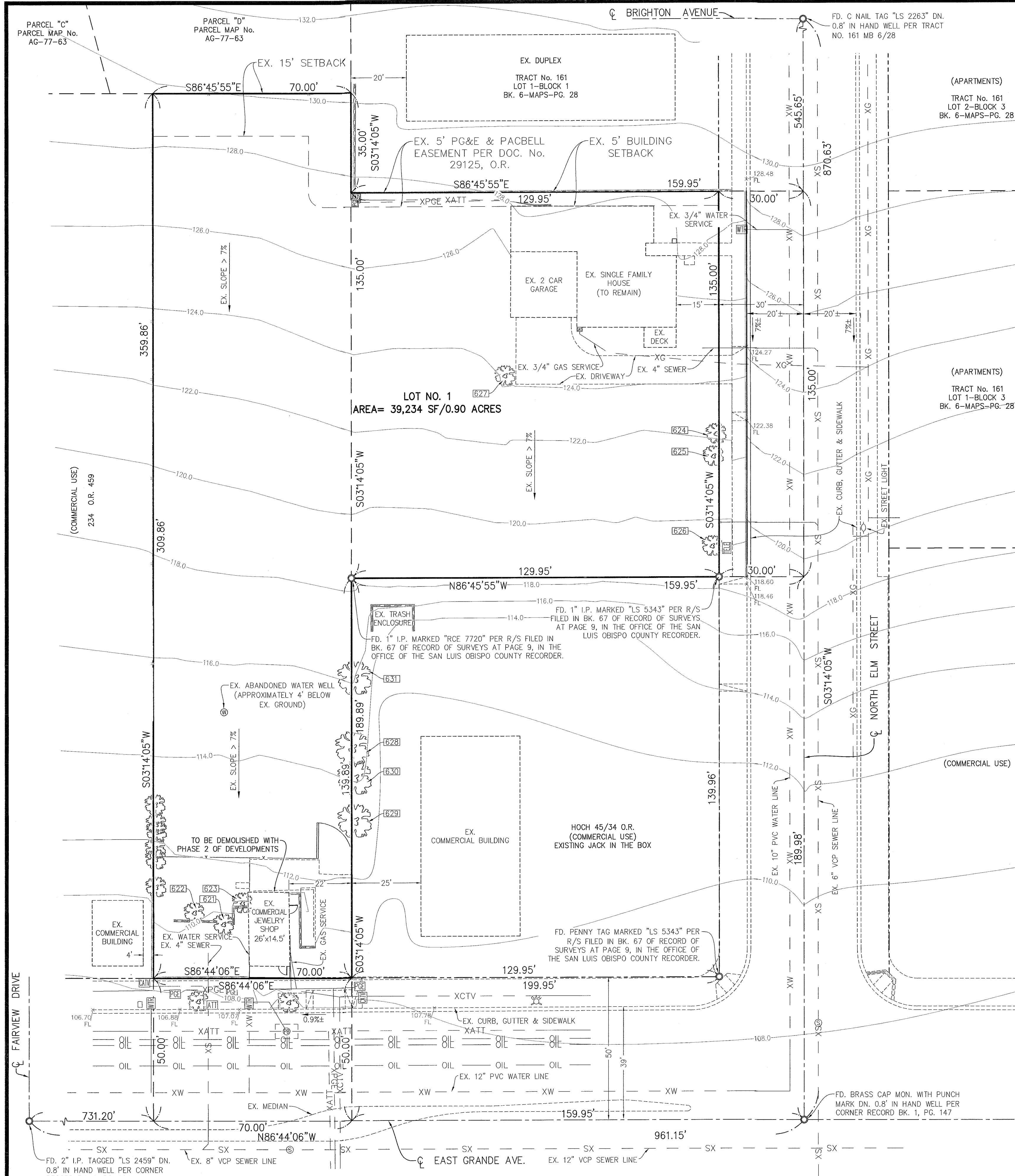




LEGAL DESCRIPTION

ALL THAT PORTION OF LOTS 15 AND 16 OF THE FOLSOM TRACT, IN THE CITY OF ARROYO GRANDE, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, ACCORDING TO MAP RECORDED SEPTEMBER 26, 1891, IN BOOK B, PAGE 75 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A MONUMENT IN THE CENTERLINE OF ELM STREET AT THE NORTHERLY LINE OF GRAND AVENUE, AS SAID AVENUE AND STREET ARE SHOWN ON THE MAP OF TRACT NO. 161, RECORDED IN BOOK 6 AT PAGE 28 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE ALONG CENTERLINE OF SAID ELM STREET, NORTH 31°4'05" EAST, A DISTANCE OF 140.00 FEET; THENCE NORTH 86°45' WEST A DISTANCE OF 30.00 FEET TO THE TRUE POINT OF BEGINNING, SAID POINT ALSO BEING THE NORTHEASTERLY CORNER OF A PARCEL OF LAND AS SHOWN ON RECORD OF SURVEY 91-062 RECORDED IN BOOK 67 OF RECORD OF SURVEYS AT PAGE 9, IN THE OFFICE OF SAID COUNTY RECORDER; THENCE ALONG ELM STREET, NORTH 31°4'05" EAST, A DISTANCE OF 135.00 FEET TO THE SOUTHERLY LINE OF LOT 1 IN BLOCK 1 OF SAID TRACT NO. 161; THENCE ALONG SAID SOUTHERLY LINE NORTH 86°45' WEST A DISTANCE OF 130.00 FEET TO THE SOUTHWESTERLY CORNER OF SAID LOT 1; THENCE ALONG THE WEST LINE OF SAID LOT 1 NORTH 31°4'05" EAST, A DISTANCE OF 35.00 FEET TO THE SOUTHEASTERLY CORNER OF PARCEL D OF PARCEL MAP NO. AG-77-63 RECORDED IN BOOK 22 OF PARCEL MAPS AT PAGE 80, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE ALONG THE SOUTHERLY LINE OF SAID LOT D AND PARALLEL WITH THE CENTERLINE OF GRAND AVENUE NORTH 86°44'10" WEST, A DISTANCE OF 70.00 FEET; THENCE PARALLEL WITH THE CENTERLINE OF ELM STREET AS SHOWN ON SAID RECORD OF SURVEY SOUTH 31°4'05" WEST, A DISTANCE OF 310.00 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF GRAND AVENUE; THENCE ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF GRAND AVENUE ACCORDING TO SAID RECORD OF SURVEY SOUTH 86°44'10" EAST, A DISTANCE OF 70.00 FEET TO THE SOUTHWESTERLY CORNER OF SAID PARCEL OF LAND AS SHOWN ON SAID RECORD OF SURVEY; THENCE PARALLEL WITH THE CENTERLINE OF ELM STREET NORTH 31°4'05" EAST, A DISTANCE OF 140.00 FEET; THENCE SOUTH 86°45' EAST, A DISTANCE OF 130.00 FEET TO THE POINT OF BEGINNING.

STATISTICAL INFORMATION:

- 1) NET AREA: 39,234 S.F. = 0.90 ACRES
- 2) GROSS AREA: 39,234 S.F. = 0.90 ACRES (SAME AS NET AREA)
- 3) EXISTING HOUSE (181 NORTH ELM STREET) TO REMAIN
- 4) EXISTING COMMERCIAL BUILDING (1214 EAST GRAND AVENUE) TO REMAIN
- 5) THERE ARE NO PROPOSED WIDENING OF EXISTING STREETS

BENCHMARK USED:

BM #40, BRASS CAP ON TOP OF CURB 2' EASTERLY OF CATCH BASIN AT NORTHEAST CORNER OF THE INTERSECTION OF SUNSET DRIVE AND SOUTH ELM STREET.

ELEVATION = 103.693'

BASIS OF BEARINGS:

CENTERLINE OF N. ELM STREET BEING N 03°14'05" E PER TRACT NO. 161 FILED IN BOOK 6 OF MAPS AT PAGE 28, SAN LUIS OBISPO COUNTY RECORDS.

UTILITIES

SEWER: CITY OF ARROYO GRANDE
WATER: CITY OF ARROYO GRANDE
ELECTRICITY: PG&E
GAS: SO. CAL. GAS
TELEPHONE: AT&T
CABLE: CHARTER (SPECTRUM)

NOTES:

- 1) SERVICES INFORMATION ON THIS MAP IS BASED ON TOPOGRAPHICAL SURVEY.
- 2) TOPOGRAPHIC INFORMATION BASED ON FIELD SURVEY AND QUAD MAP (MAXIMUM SLOPE IS 6.8%)
- 3) DATE OF FIELD SURVEY: 1-12-2018
- 4) THIS SUBDIVISION WILL BE A ONE LOT CONDOMINIUM SUBDIVISION.
- 5) CONDOMINIUM WILL BE DEVELOPED IN 2 PHASES
- 6) 10 RESIDENTIAL CONDO UNITS IN PHASE 1. 1 RESIDENTIAL CONDO AND 1 COMMERCIAL CONDO IN PHASE 2. TOTAL 12 CONDO UNITS.
- 7) SECOND FLOOR RESIDENTIAL CONDOMINIUM ACCESS FOR PHASE 1 UNITS ARE TROUGH THAT RESPECTIVE UNIT ONLY. SECOND FLOOR CONDOMINIUM RESIDENTIAL ACCESS FOR THE PHASE 2 UNIT WILL BE VIA A COMMON AREA LOBBY AND STAIRWAY IN THE WEST SIDE OF THE BUILDING.

OWNER/SUBDIVIDER/APPLICANT:

FRED PORTER AND SAUNDRA PORTER, TRUSTEES OF THE FRED AND SAUNDRA PORTER FAMILY TRUST DATED AUGUST 6, 1996 AS TO AN UNDIVIDED 50% INTEREST; FLOYD G. HINESLEY AND LORETTA M. HINESLEY, TRUSTEES OF THE HINESLEY FAMILY TRUST DATED MARCH 15, 2006 AS TO AN UNDIVIDED 32.74% INTEREST AND FLOYD G. HINESLEY, A MARRIED MAN AS HIS SOLE AND SEPARATE PROPERTY AS TO AN UNDIVIDED 17.26 INTEREST ALL AS TENANTS IN COMMON.

FRED W. PORTER
1200 21st STREET
BAKERSFIELD, CA 93301
(661) 327-0362

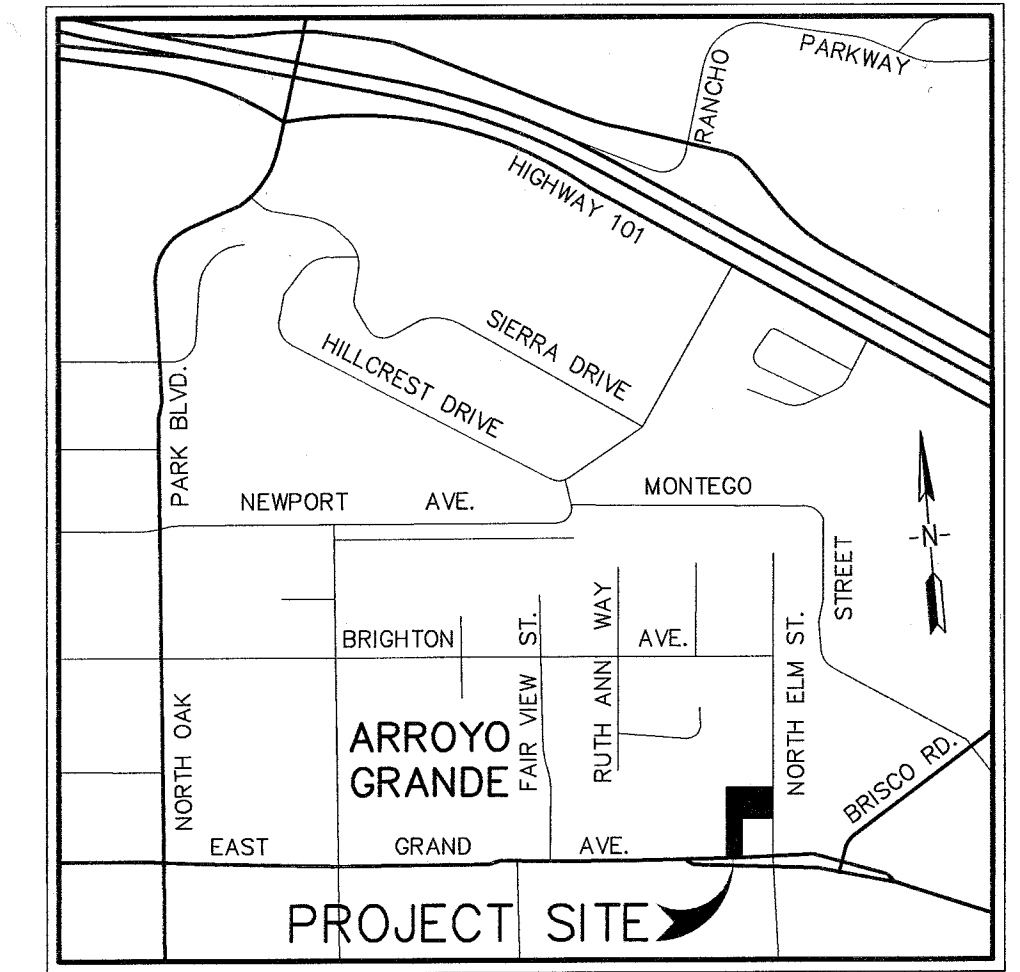
FLOYD HINESLEY
772 HERMOSA VISTA WAY
ARROYO GRANDE, CA 93420
(661) 979-3106

EXISTING SITE TREES REPORT

ID#	DBH	TYPE OF TRUNK	DISPOSITION	COMMENT
621	10	M-2	RMV	GRECIAN LAUREL (LAURUS NOBILIS)
622	14	M-6	RMV	YUCCA, SPANISH DAGGER (YUCCA GLORIOSA)
623	8	S	RMV	YUCCA, JOSHUA TREE (YUCCA BREVIFOLIA)
624	12 PALM	S	RMV	MEXICAN FAN PALM (WASHINGTONIA ROBUSTA)
625	12 PALM	S	RMV	QUEEN PALM (SYAGRUS ROMANZOFFIANUM)
626	12 PALM	S	RMV	MEXICAN FAN PALM (WASHINGTONIA ROBUSTA)
627	12 PALM	S	RMV	MEXICAN FAN PALM (WASHINGTONIA ROBUSTA)
628	22	M-2	REM	COAST LIVE OAK (QUERCUS AGRIFOLIA)
629	14	S	REM	CANARY ISLAND PINE (PINUS CANARIENSIS)
630	16	S	REM	CANARY ISLAND PINE (PINUS CANARIENSIS)
631	17	S	REM	CANARY ISLAND PINE (PINUS CANARIENSIS)

NOTE:

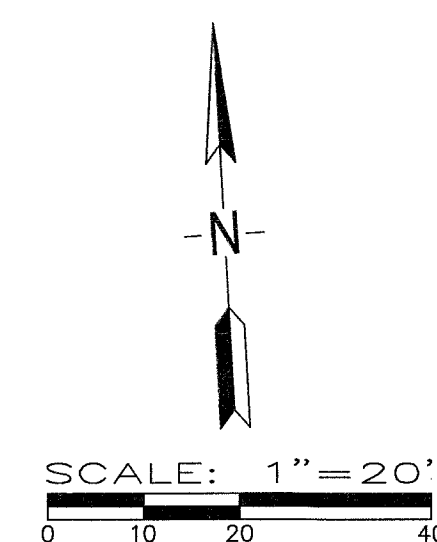
ID - TREES HAVE A METAL ID TAG WITH CORRESPONDING NUMBER.
DBH - DIAMETER AT BREAST HEIGHT (4 1/2 FT.) CANOPY DIAMETER IN FEET.
TYPE OF TRUNK - (S) SINGLE, (M) MULTIPLE.
RMV- TO BE REMOVED
REM- TO REMAIN



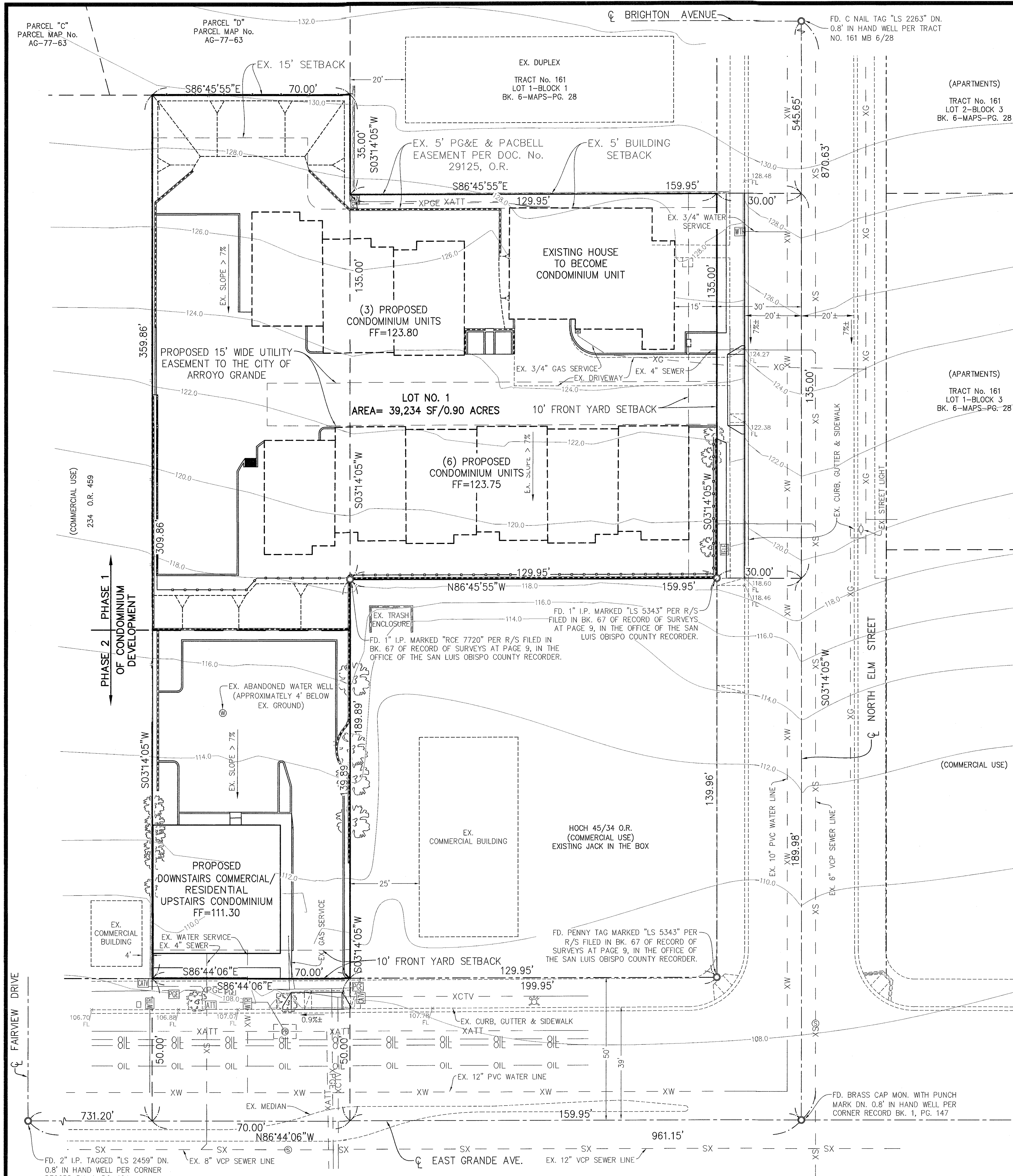
VICINITY MAP
NO SCALE

EXISTING TOPO LEGEND:

---	STREET CENTERLINE
- - -	STREET RIGHT-OF-WAY/PROPERTY LINE
=====	EXISTING BLOCK WALL
---	EXISTING SEWER MAIN
- - -	EXISTING WATER MAIN
---	EXISTING PG&E GAS LINE
---	EXISTING PG&E ELECTRICAL LINE
---	EXISTING AT&T LINE
---	EXISTING CABLE TV LINE
---	EXISTING PHILLIPS 66 OIL LINE
- x - x -	EXISTING CHAIN-LINK FENCE
WTR	EXISTING WATER METER
GAS	EXISTING GAS METER
ATT	EXISTING CABLE TELEVISION BOX
TEL	EXISTING PACIFIC TELEPHONE
ATI	EXISTING PACIFIC TELEPHONE
⊗	EXISTING AT&T BOX
⊗	EXISTING PACIFIC BELL MANHOLE
⊗	EXISTING SEWER MANHOLE
⊗	EXISTING FIRE HYDRANT
⊗	EXISTING TREE
AC	AGGREGATE CONCRETE
BW	BACK OF WALK
EX	EXISTING
FL	FLOWLINE
LS	LANDSCAPE
NG	NATURAL GROUND
TC	TOP OF CURB
TOC	TOP OF CONCRETE



REV.	DESCRIPTION:	DATE:	APPD. BY:	DESIGN FIRM:	SEAL:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	SCALE:	TENTATIVE TRACT No. 3182 FOR CONDOMINIUM PURPOSES	CITY OF ARROYO GRANDE COMMUNITY DEVELOPMENT DEPARTMENT 1214 EAST GRANDE AVENUE & 181 NORTH ELM STREET ARROYO GRANDE, CALIFORNIA 93420	REFERENCE NO.
				PORTER & ASSOCIATES, INC. ENGINEERING & SURVEYING 1200 21st Street, Bakersfield, California 93301 861.327.0362 FAX 661.327.1065	FRED W. PORTER RCE 33448 CIVIL STATE OF CALIFORNIA	FWP	LGH/NMS	FWP	HORIZ. 1"=20' VERT. N/A			SHEET: 1 OF 4



LEGAL DESCRIPTION

ALL THAT PORTION OF LOTS 15 AND 16 OF THE FOLSOM TRACT, IN THE CITY OF ARROYO GRANDE, COUNTY OF SAN LUIS OBISPO, STATE OF CALIFORNIA, ACCORDING TO MAP RECORDED SEPTEMBER 26, 1891, IN BOOK B, PAGE 75 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

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BENCHMARK USED:

BM #40, BRASS CAP ON TOP OF CURB 2' EASTERLY OF CATCH BASIN AT NORTHEAST CORNER OF THE INTERSECTION OF SUNSET DRIVE AND SOUTH ELM STREET.

ELEVATION= 103.693'

BASIS OF BEARINGS:

CENTERLINE OF N. ELM STREET BEING N 03°14'05" E PER TRACT NO. 161 FILED IN BOOK 6 OF MAPS AT PAGE 28, SAN LUIS OBISPO COUNTY RECORDS.

UTILITIES

SEWER: CITY OF ARROYO GRANDE
WATER: CITY OF ARROYO GRANDE
ELECTRICITY: PG&E
GAS: SO. CAL. GAS
TELEPHONE: AT&T
CABLE: CHARTER (SPECTRUM)

NOTES:

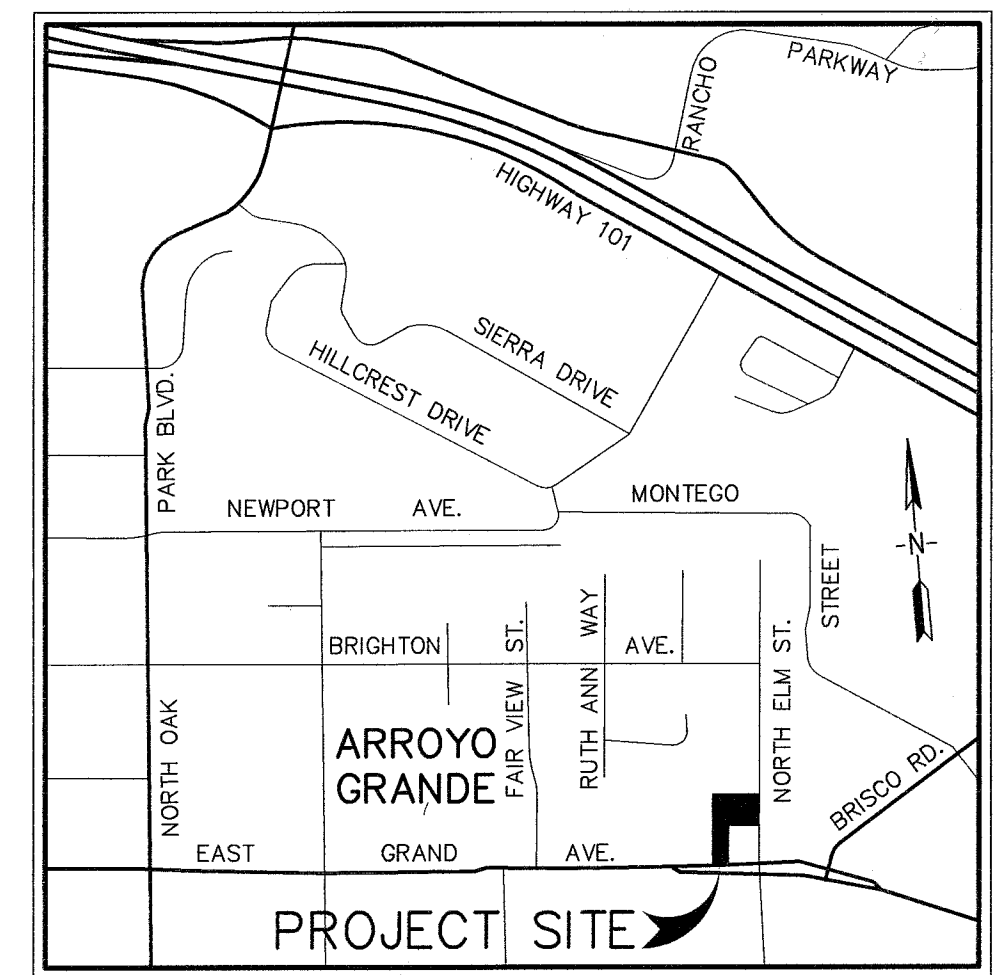
- 1) SERVICES INFORMATION ON THIS MAP IS BASED ON TOPOGRAPHICAL SURVEY.
- 2) TOPOGRAPHIC INFORMATION BASED ON FIELD SURVEY AND QUAD MAP (MAXIMUM SLOPE IS 6.8%)
- 3) DATE OF FIELD SURVEY: 1-12-2018
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- 5) CONDOMINIUM WILL BE DEVELOPED IN 2 PHASES
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OWNER/SUBDIVIDER/APPLICANT:

FRED PORTER AND SAUNDRA PORTER, TRUSTEES OF THE FRED AND SAUNDRA PORTER FAMILY TRUST DATED AUGUST 6, 1996 AS TO AN UNDIVIDED 50% INTEREST; FLOYD G. HINESLEY AND LORETTA M. HINESLEY, TRUSTEES OF THE HINESLEY FAMILY TRUST DATED MARCH 15, 2006 AS TO AN UNDIVIDED 32.74% INTEREST AND FLOYD G. HINESLEY, A MARRIED MAN AS HIS SOLE AND SEPARATE PROPERTY AS TO AN UNDIVIDED 17.26% INTEREST ALL AS TENANTS IN COMMON.

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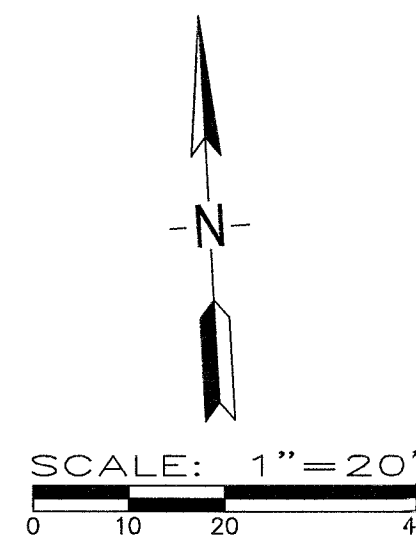
FLOYD HINESLEY
772 HERMOSA VISTA WAY
ARROYO GRANDE, CA 93420
(661) 979-3106



VICINITY MAP
NO SCALE

EXISTING TOPO LEGEND:

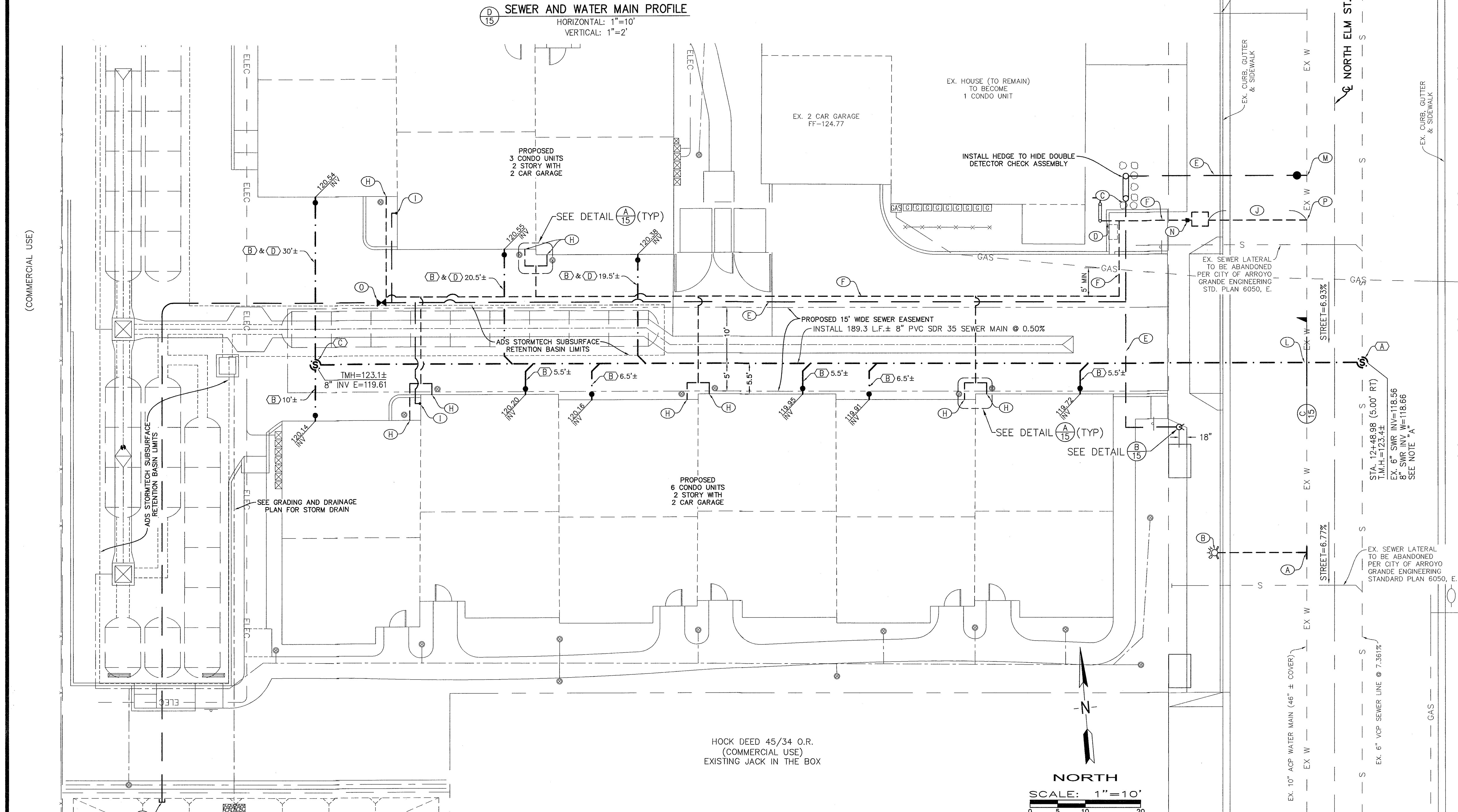
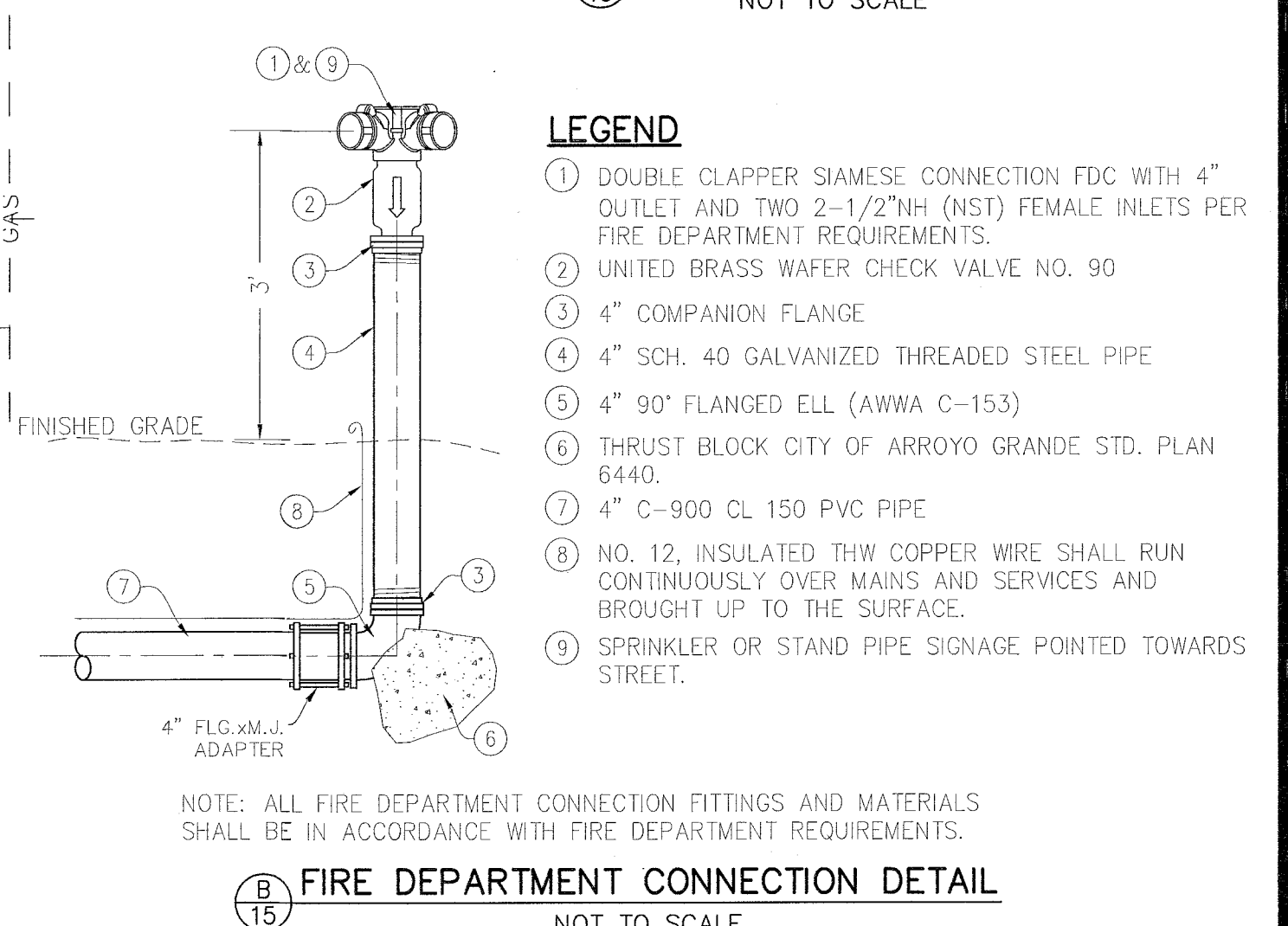
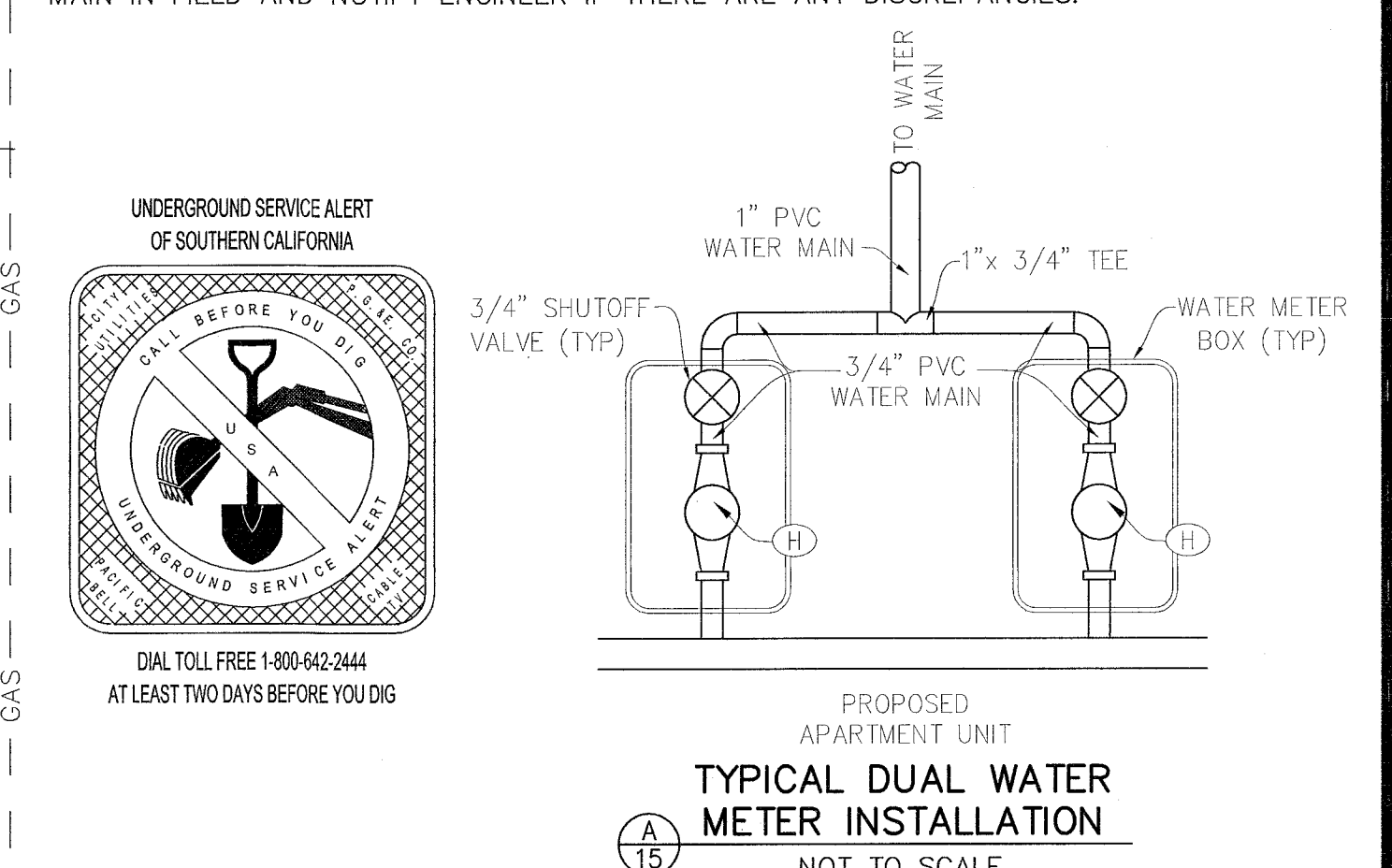
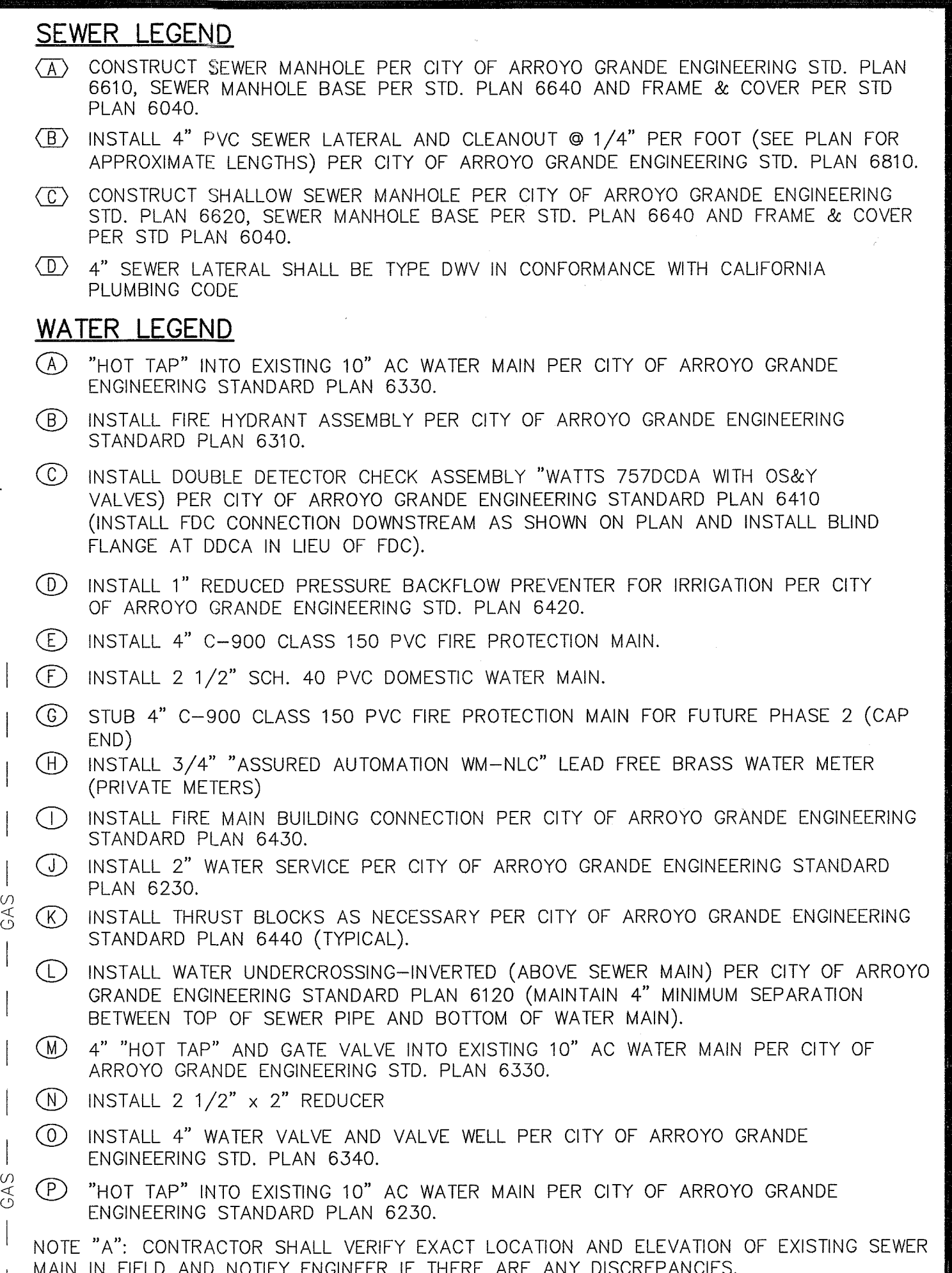
- STREET CENTERLINE
- STREET RIGHT-OF-WAY/PROPERTY LINE
- EXISTING BLOCK WALL
- EXISTING SEWER MAIN
- EXISTING WATER MAIN
- EXISTING PG&E GAS LINE
- EXISTING PG&E ELECTRICAL LINE
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- EXISTING CABLE TELEVISION BOX
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- EXISTING SEWER MANHOLE
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- EXISTING TREE
- AGGREGATE CONCRETE
- BACK OF WALK
- EXISTING FLOWLINE
- LANDSCAPE
- NATURAL GROUND
- TOP OF CURB
- TOP OF CONCRETE



J:\3011A\Tentative Tract 3182.dwg Tentative Tract 3182.dwg 12/09/21 notes\inkar

REV.	DESCRIPTION:	DATE:	APPD. BY:	DESIGN FIRM:	SEAL:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	SCALE:	TENTATIVE TRACT No. 3182 FOR CONDOMINIUM PURPOSES	CITY OF ARROYO GRANDE COMMUNITY DEVELOPMENT DEPARTMENT 1214 EAST GRANDE AVENUE & 181 NORTH ELM STREET ARROYO GRANDE, CALIFORNIA 93420	REFERENCE NO.
				PORTER & ASSOCIATES, INC. ENGINEERING & SURVEYING 1200 21st Street, Bakersfield, California 93301 661.327.0362 FAX 661.327.1065	FRED W. PORTER RCE 33448 CIVIL STATE OF CALIFORNIA	FWP	LGH/NMS	FWP	HORIZ. 1"=20'			SHEET:
									VERT. N/A			2 OF 4

DATE: 12/09/2021

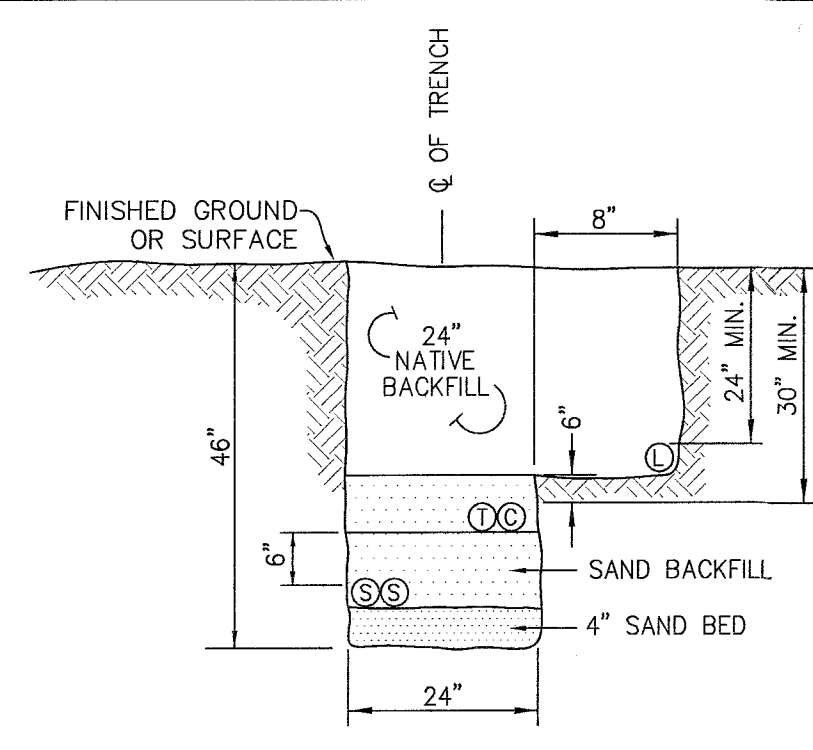


REV.	DESCRIPTION:	DATE:	APPD. BY:	DESIGN FIRM:	SEAL:	DESIGNED BY:	DRAWN BY:	CHECKED BY:	SCALE:	TENTATIVE TRACT No. 3182 FOR CONDOMINIUM PURPOSES SEWER AND WATER PLAN	 CITY OF ARROYO GRANDE COMMUNITY DEVELOPMENT DEPARTMENT 1214 EAST GRAND AVENUE & 181 NORTH ELM STREET ARROYO GRANDE, CALIFORNIA 93420	REFERENCE NO.	
				 PORTER & ASSOCIATES, INC. ENGINEERING & SURVEYING 1200 21st Street, Bakersfield, California 93301 661.327.0362 FAX 661.327.1065		FWP	LGH/NMS	FWP	HORIZ. 1"=10'			VERT. N/A	SHEET:
						PREPARED UNDER THE DIRECTION OF:  FRED W. PORTER, RCE 33448 DATE: 12/09/2021							3 OF 4

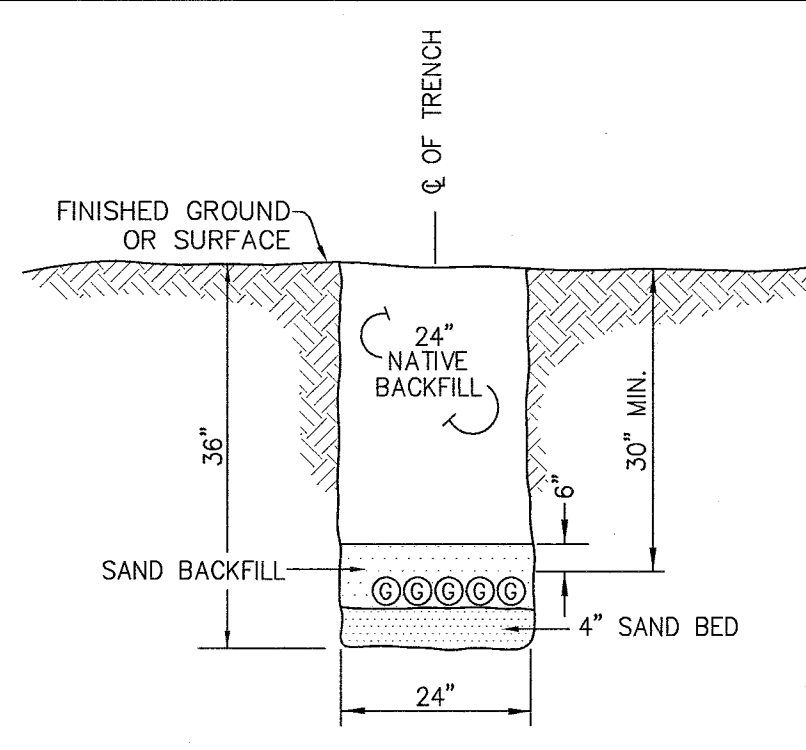
PARCEL "D"
PARCEL MAP No. AG-77-63
(EXISTING RESIDENTIAL)

EX. POWER POLE P.O.C.

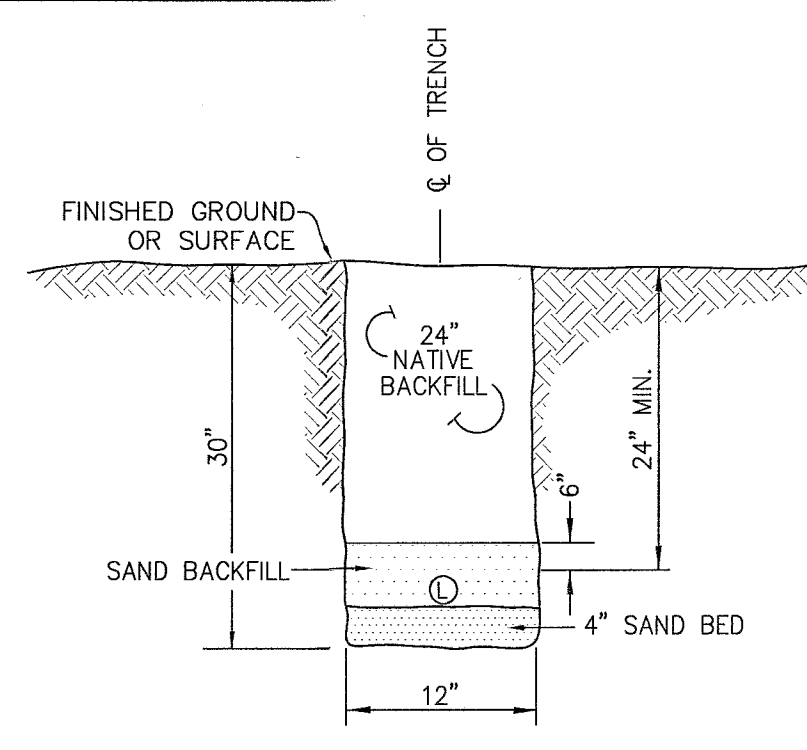
ALL UTILITIES TO BE EXTENDED OR UPGRADED
FROM P.O.C. TO EXISTING POLE NORTH OF SITE BY
UTILITY COMPANIES (POWER, CABLE, TELEPHONE)



A TYPICAL JOINT UTILITIES TRENCH
NOT TO SCALE



B TYPICAL GAS LINE ONLY TRENCH
NOT TO SCALE



C TYPICAL PARKING LOT LIGHT ONLY TRENCH
NOT TO SCALE

UTILITY TRENCH INFORMATION				TRENCH CONDUIT QUANTITY AND SIZE			
TRENCH NO.	TRENCH SIZE	UTILITIES	LENGTH	PG&E	AT&T	CHARTER	LIGHTS
1	24" X 48"	S,T,C,L	78'	1-4"	1-2"	1-2"	1 1/2"
2	24" X 48"	S,T,C,L	44'	2-3"	1-2"	1-2"	1 1/2"
3	12" X 24"	L	5'	-	-	-	1 1/2"
4	24" X 48"	S,T,C,L	86'	2-3"	1-2"	1-2"	1 1/2"
5	12" X 24"	L	74'	-	-	-	1 1/2"
6	24" X 48"	S,T,C	5'	2-3"	1-2"	1-2"	-
7	24" X 48"	S,T,C	63'	EX 3"	1-4"	1-3"	-

LEGEND

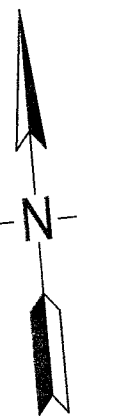
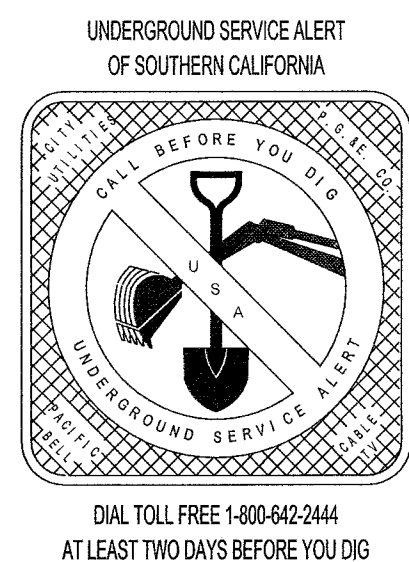
- S - PG&E SECONDARY (5" CONDUIT) (1)
G - SO. CAL GAS (2)
T - AT&T TELEPHONE (2)
C - SPECTRUM CABLE TELEVISION (2)
L - PARKING LOT LIGHTING CONDUIT (1 1/2" CONDUIT)
EX - EXISTING
P.O.C. - POINT OF CONNECTIONS
(1) FURNISHED AND INSTALLED BY CONTRACTOR
(2) FURNISHED AND INSTALLED BY UTILITY COMPANY
(10) 28' TRENCH NUMBER AND LENGTH OF TRENCH
-S- - PROPOSED SEWER MAIN OR LATERAL
-F- - PROPOSED FIRE PROTECTION MAIN
-W- - PROPOSED DOMESTIC WATER MAIN
-SD- - PROPOSED STORM DRAIN

GAS LEGEND

- △ EXISTING GAS METER (PROTECT IN PLACE)
△ PROPOSED (9) GAS METERS
△ PROPOSED 3' HIGH SCREEN WOOD FENCE, COLOR TO MATCH TRASH ENCLOSURE DOORS.
△ PROPOSED 2" GAS LINE TO EACH APARTMENT UNIT (NOTE: GAS LINES CAN BE RAN IN SAME TRENCH, SHOWN SEPARATED FOR CLARITY PURPOSES ON PLAN VIEW)

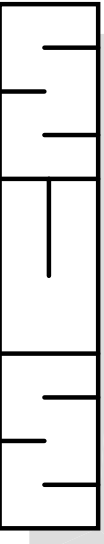
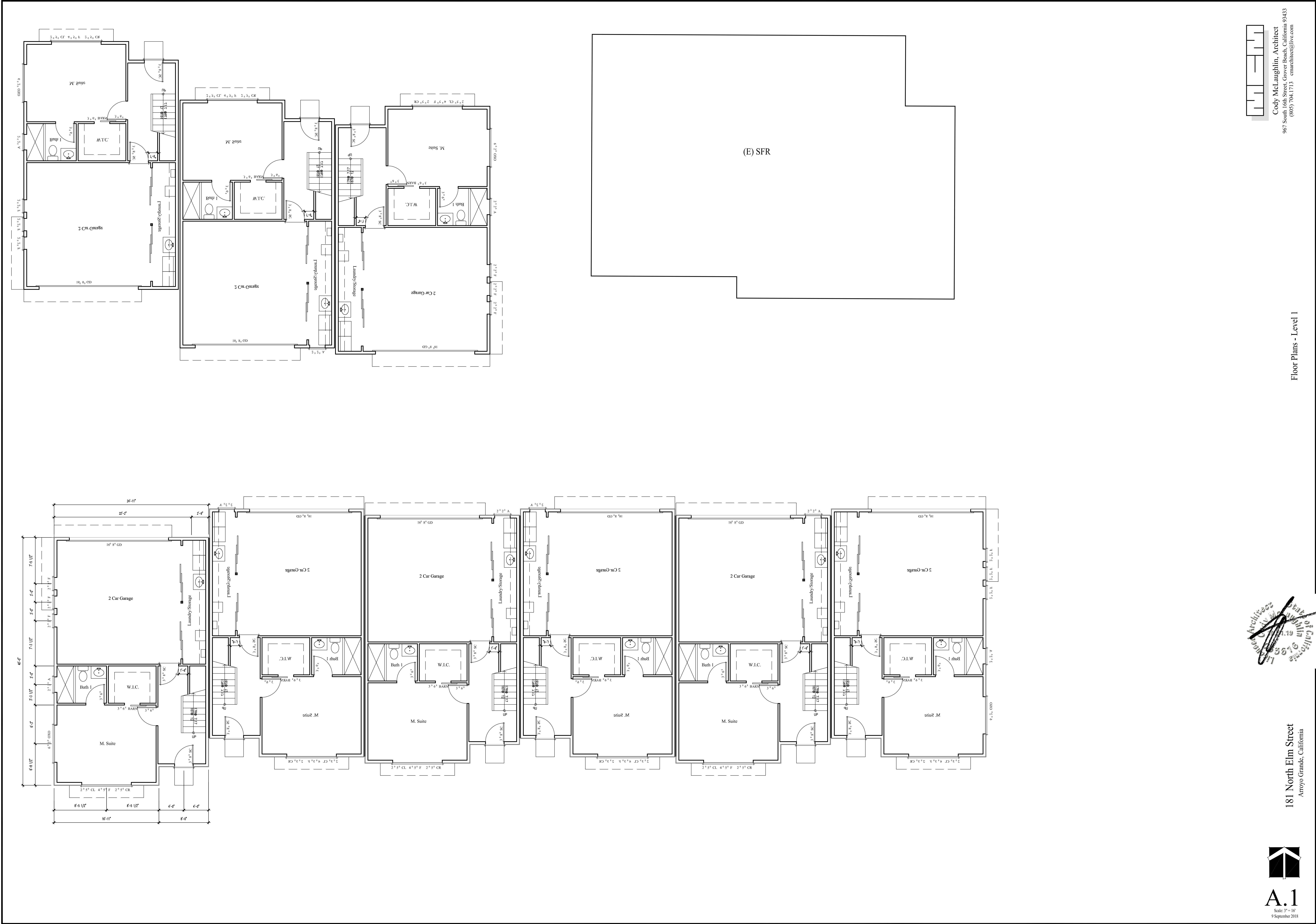
NOTES

- ALL PARKING LOT LIGHT CONDUIT SHALL BE SCH. 40 P.V.C. WITH A MINIMUM OF 30" COVER. COMPACT TRENCH TO 95%.
- ALL CONDUIT TO BE INSTALLED WITH PULL STRINGS AND CAPPED. ALL CONDUIT ENDS SHALL BE MARKED WITH A 2"x4" STAKE EXTENDING FROM THE BOTTOM OF TRENCH TO A HEIGHT OF 2' ABOVE GROUND; THE STAKE IS TO BE PAINTED GREEN.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL THAT IS NECESSARY TO VERIFY EXISTING UTILITY LOCATION AND ELEVATION IF NEEDED, THE CONTRACTOR SHALL ADJUST THE TRENCH DEPTH UP OR DOWN AS PART OF THIS WORK.
- SAND BED AND BACKFILL SHALL BE IN ACCORDANCE WITH P.G.&E. STANDARDS.
- REFER TO P.G.&E. ELECTRIC DRAWINGS FOR DETAILS AND CONDUIT CONFIGURATIONS.



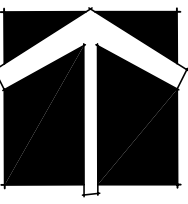
NORTH
SCALE: 1"=10'
0 5 10 20

REV. DESCRIPTION: DATE: APPD. BY: DESIGN FIRM:	SEAL: DESIGNED BY: DRAWN BY: CHECKED BY: SCALE:	TENTATIVE TRACT No. 3182 FOR CONDOMINIUM PURPOSES DRY UTILITY COMPOSITE	CITY OF ARROYO GRANDE COMMUNITY DEVELOPMENT DEPARTMENT 1214 EAST GRAND AVENUE & 181 NORTH ELM STREET ARROYO GRANDE, CALIFORNIA 93420	REFERENCE NO.
△ UPDATED CONDUIT SCHEDULE. 06/17/2020 FWP	FWP LGH/NMS FWP 1"=10' N/A			SHEET: 4 OF 4
PORTER & ASSOCIATES, INC. ENGINEERING & SURVEYING 1200 21st Street, Bakersfield, California 93301 661.327.0362 FAX 661.327.1065		DATE: 12/09/2021		



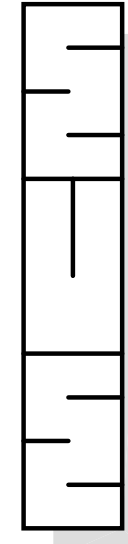
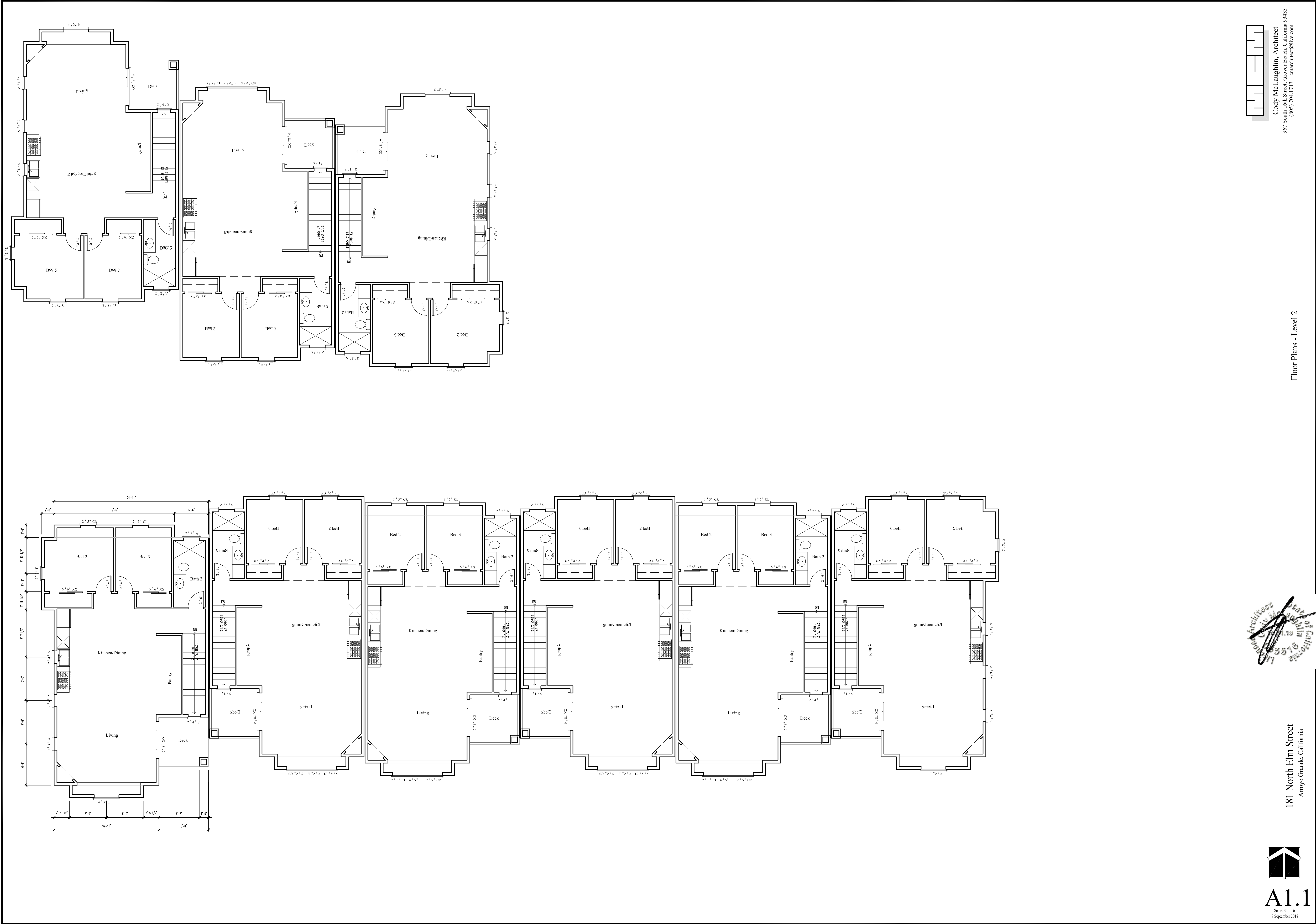
Cody McLaughlin, Architect
967 South 16th Street, Grover Beach, California 93433
(805) 704-1713 cmlarchitect@live.com

181 North Elm Street
Arroyo Grande, California

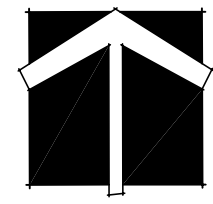


A.1
Scale: 3/8" = 1'-0"
9 September 2018

Floor Plans - Level 1



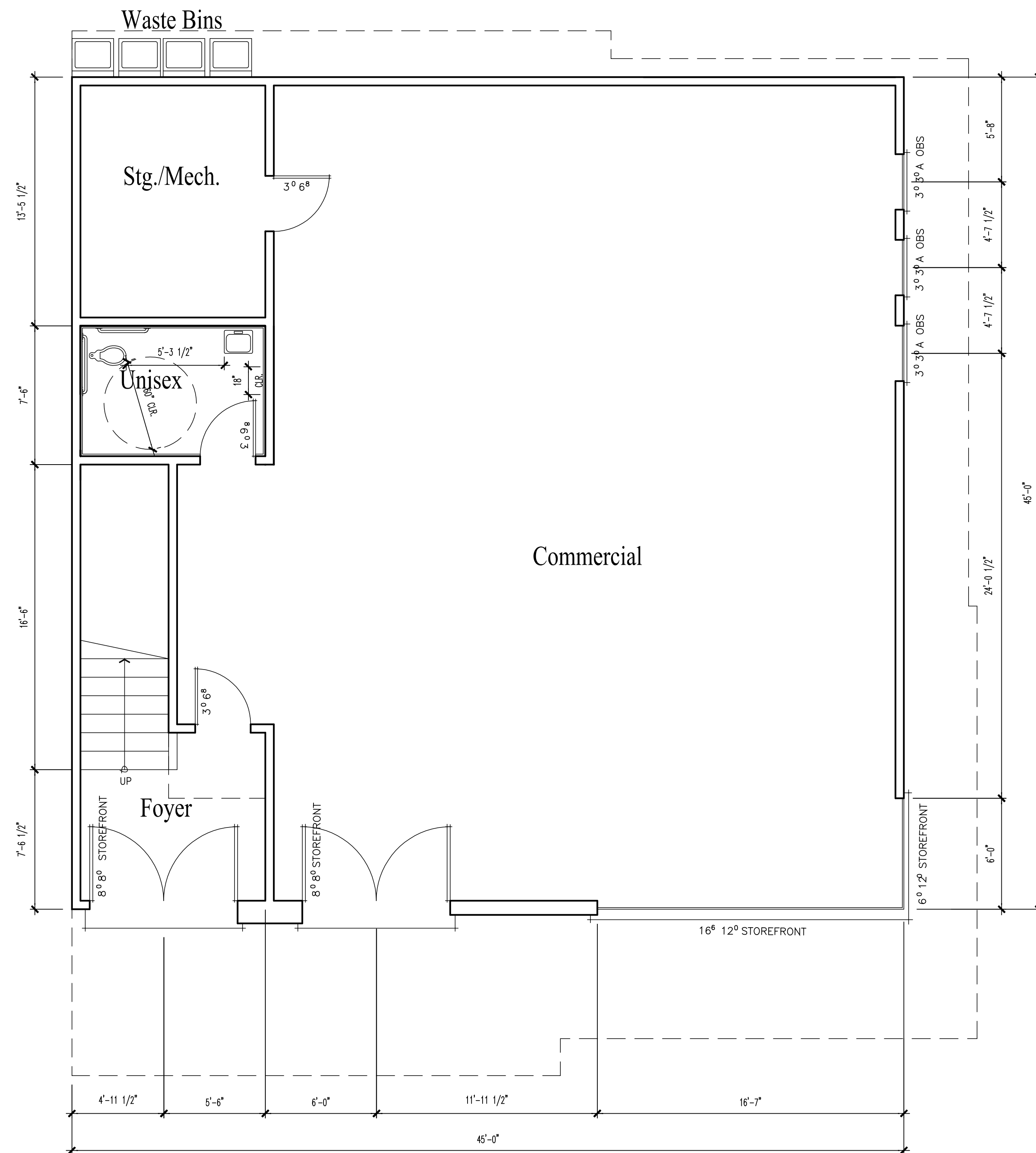
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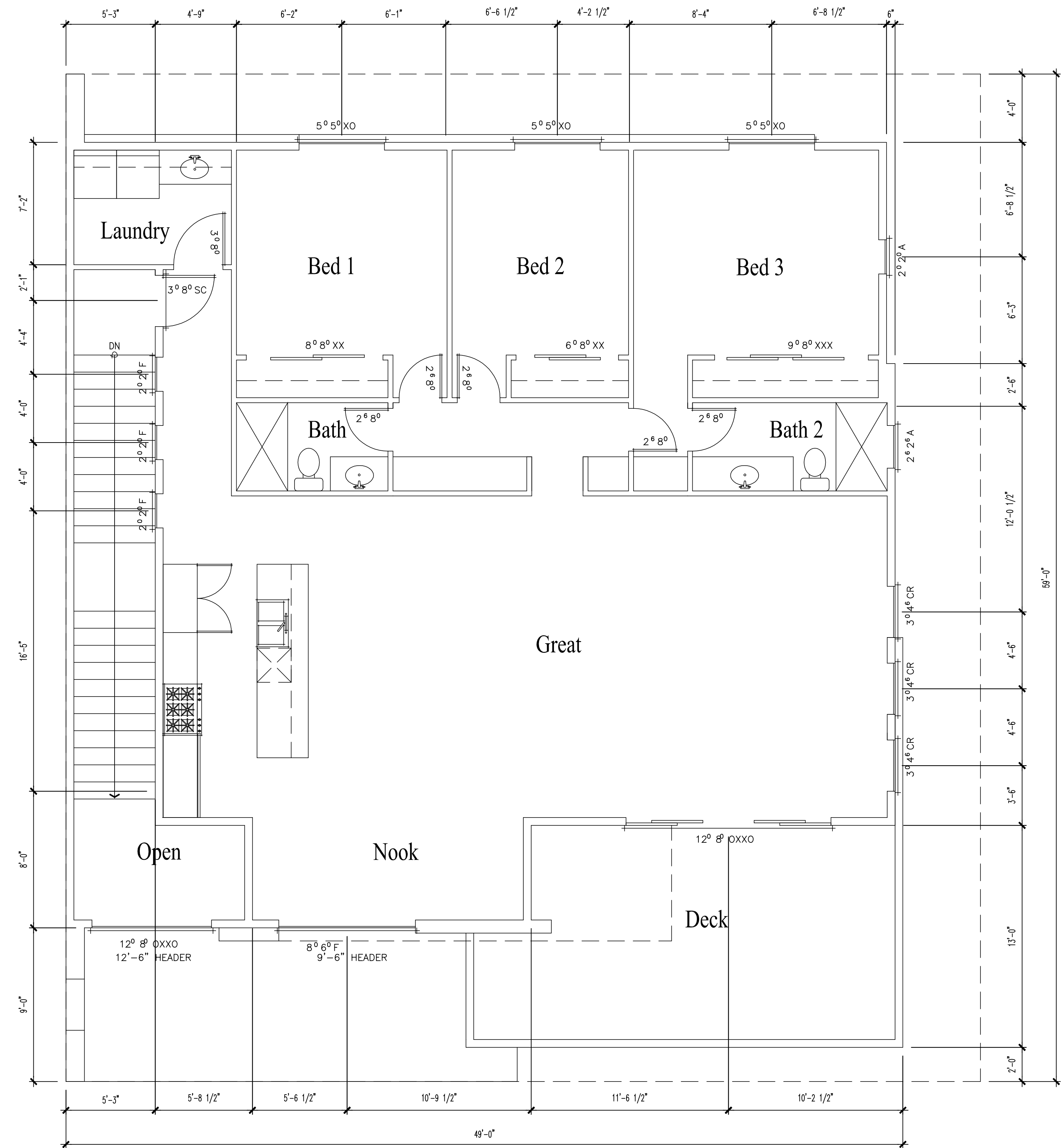
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9 September 2018

181 North Elm Street
Arroyo Grande, California

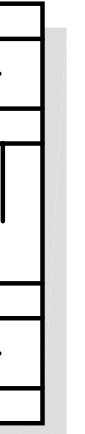
Floor Plans - Level 2



Lower Floor - Commercial



Upper Floor - Residential

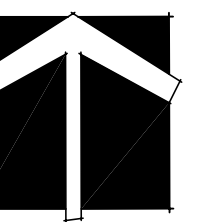


967 S. 16th Street, Grover Beach, California 93433
(805) 704.1713 cmarchitect@live.com

Floor Plans



1214 East Grand Avenue
Arroyo Grande, California



A1.2

Scale: 1" = 4'

April 2019



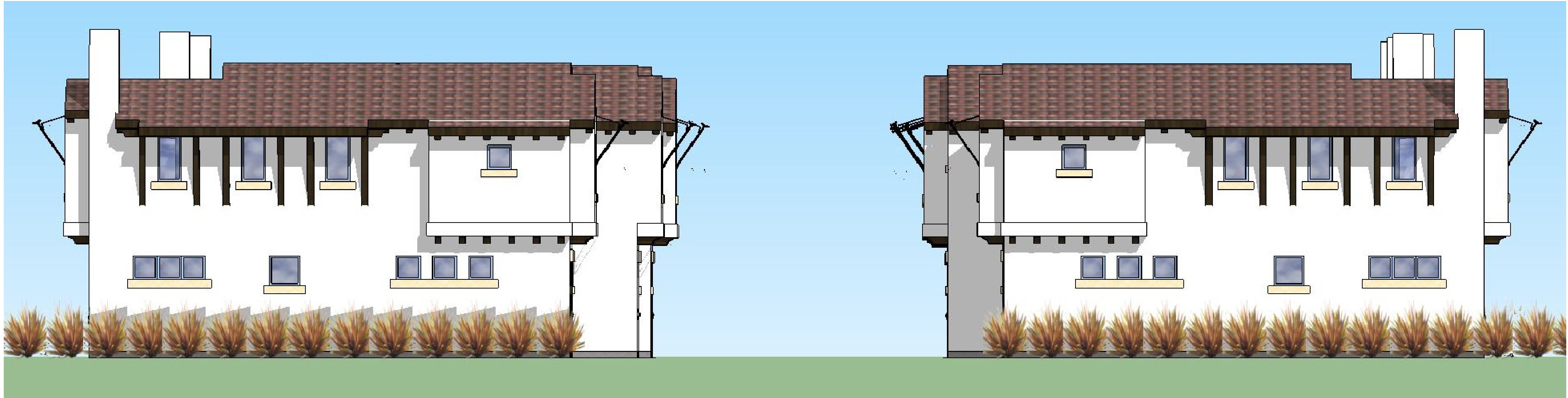
East

MAX. HEIGHT CALC.

AVERAGE NATURAL GRADE	109.00'
32.00' MAX. HEIGHT PER CITY STANDARDS	32.00'
MAXIMUM ALLOWABLE HEIGHT =	141.00'
FINISH FLOOR ELEVATION	108.51'
PLATE HEIGHT	12.00'
SECOND FLOOR FRAMING	1.33'
PLATE HEIGHT	9.08'
TRUSS HEEL HEIGHT+PLYWOOD	.83'
58' @ 1:12 SLOPE	4.92'
PROPOSED HEIGHT @ RIDGE =	136.67'

ELEVATION KEYNOTES

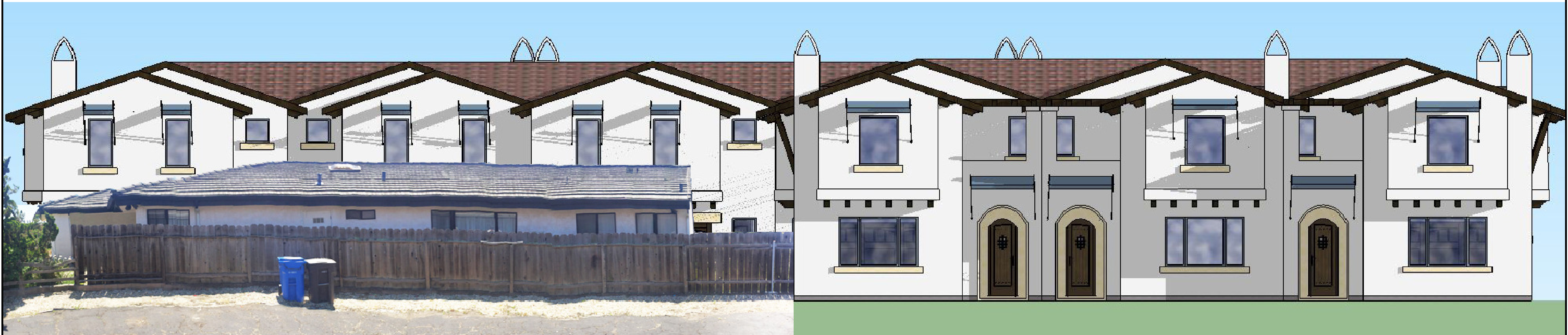
- * KEYNOTES ONLY APPLY IF REFERENCED ON PLANS
- GENERAL
- A. SEE MATERIALS BOARD FOR ADDITIONAL INFORMATION.
- B. USE APPROVED FIRESTOPPERS IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES & SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING & FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIALS.
- ① CONCRETE TILE ROOFING - SANTA BARBARA BLEND
 - ② FASCIA/BEAMS/FRONT AND GARAGE DOOR - DARK WALNUT
 - ③ WINDOWS/DOORS - STORMY BLUE
 - ④ STUCCO 0/ FOAM TRIM - PACIFIC SAND
 - ⑤ STUCCO - CRYSTAL WHITE SMOOTH



North



181 North Elm Street
Arroyo Grande, California



North

Elevations

MAX. HEIGHT CALC.

AVERAGE NATURAL GRADE	109.00'
32.00' MAX. HEIGHT PER CITY STANDARDS	32.00'
MAXIMUM ALLOWABLE HEIGHT =	T41.00'
FINISH FLOOR ELEVATION	108.51'
PLATE HEIGHT	12.00'
SECOND FLOOR FRAMING	1.33'
PLATE HEIGHT	9.08'
TRUSS HEEL HEIGHT+PLYWOOD	.83'
58' @ 1:12 SLOPE	4.92'
PROPOSED HEIGHT @ RIDGE =	T36.67'

ELEVATION KEYNOTES

* KEYNOTES ONLY APPLY IF REFERENCED ON PLANS

GENERAL

A. SEE MATERIALS BOARD FOR ADDITIONAL INFORMATION

B. USE APPROVED FIRESTOPS IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES & SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING & FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIALS.

- ① CONCRETE TILE ROOFING - SANTA BARBARA BLEND
- ② FASCIA/BEAMS/FRONT AND GARAGE DOOR - DARK WALNUT
- ③ WINDOWS/DOORS - STORMY BLUE
- ④ STUCCO O/J FOAM TRIM - PACIFIC SAND
- ⑤ STUCCO - CRYSTAL WHITE SMOOTH



South



Elevation s

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ELEVATION KEYNOTES

* KEYNOTES ONLY APPLY IF REFERENCED ON PLANS

GENERAL

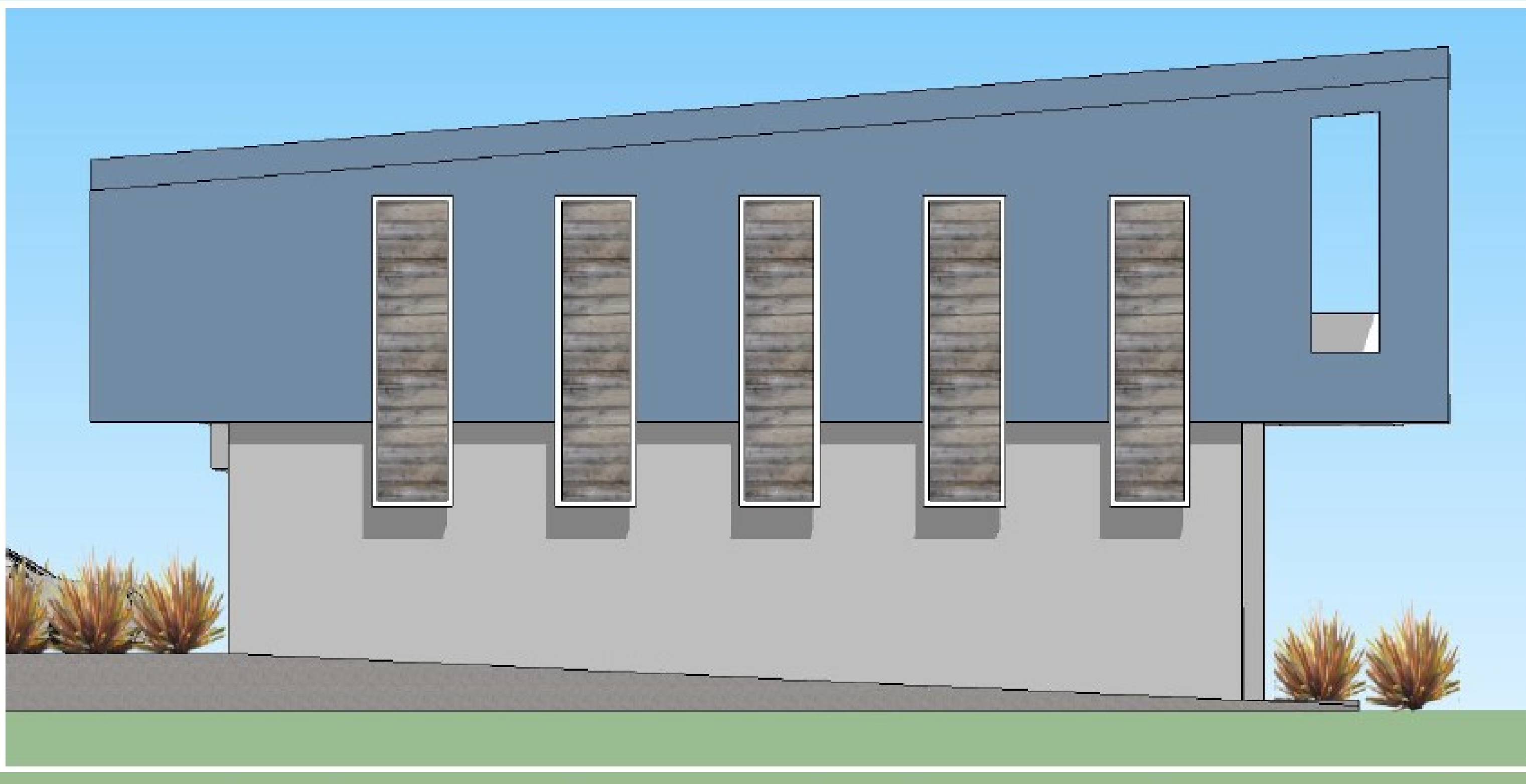
- SEE MATERIAL BOARD FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- USE APPROVED FIRESTOPPS IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES & SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING & FLOOR LEVELS WITH NON-COMBUSTIBLE MATERIALS.

EXTERIOR SKIN

- STUCCO - STORMY BLUE SMOOTH
- MILGARD DOORS/WINDOWS - ANODIZED ALUMINUM
- STUCCO - WHITE SMOOTH
- STUCCO - NATURAL GREY SMOOTH
- SIDING - RECLAIMED WOOD RAINSCREEN

South (East Grand Avenue)

North



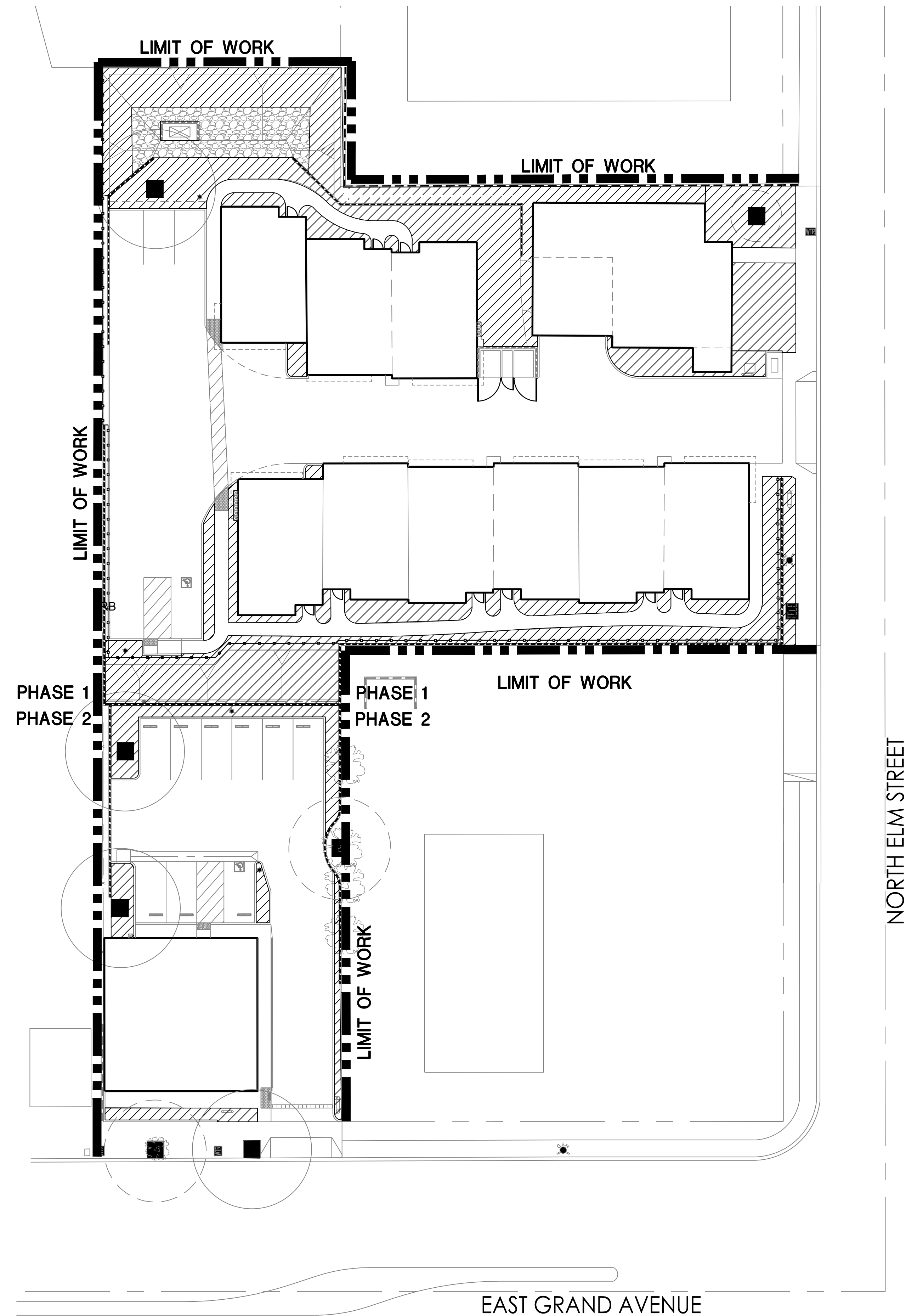
West



East

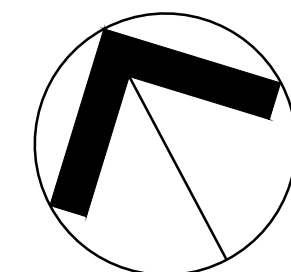


1214 East Grand Avenue
Arroyo Grande, California



HYDROZONE PLAN

SCALE: 1" = 20' - 0"



Maximum Applied Water Allowance Calculations for New and Rehabilitated Non-Residential Landscapes													
Enter value in Pale Blue Cells													
Tan Cells Show Results													
Messages and Warnings													
Click on the blue cell on right to Pick City Name ET _a of City from Appendix A	<table><thead><tr><th>Arroyo Grande</th><th>Name of City</th></tr></thead><tbody><tr><td>40.00</td><td>ET_a (inches/year)</td></tr><tr><td>0</td><td>Overhead Landscape Area (ft²)</td></tr><tr><td>8764</td><td>Drip Landscape Area (ft²)</td></tr><tr><td>0</td><td>SLA (ft²)</td></tr><tr><td>8,764</td><td>Total Landscape Area</td></tr></tbody></table>	Arroyo Grande	Name of City	40.00	ET _a (inches/year)	0	Overhead Landscape Area (ft ²)	8764	Drip Landscape Area (ft ²)	0	SLA (ft ²)	8,764	Total Landscape Area
Arroyo Grande	Name of City												
40.00	ET _a (inches/year)												
0	Overhead Landscape Area (ft ²)												
8764	Drip Landscape Area (ft ²)												
0	SLA (ft ²)												
8,764	Total Landscape Area												
Results: (ET _a) x (0.62) x [(0.45 x LA) + (1.0 - 0.45) X SLA]	<table><tbody><tr><td>-</td><td>Gallons</td></tr><tr><td>-</td><td>Cubic Feet</td></tr><tr><td>-</td><td>HCF</td></tr><tr><td>-</td><td>Acre-feet</td></tr><tr><td>-</td><td>Millions of Gallons</td></tr></tbody></table>	-	Gallons	-	Cubic Feet	-	HCF	-	Acre-feet	-	Millions of Gallons		
-	Gallons												
-	Cubic Feet												
-	HCF												
-	Acre-feet												
-	Millions of Gallons												
MAWA calculation incorporating Effective Precipitation (Optional) Precipitation (Optional) ET _a of City from Appendix A Total Landscape Area Special Landscape Area	<table><tbody><tr><td>40</td><td>ET_a (inches/year)</td></tr><tr><td>8,764</td><td>LA (ft²)</td></tr><tr><td>0</td><td>SLA (ft²)</td></tr><tr><td>17</td><td>Total annual precipitation (inches/year)</td></tr><tr><td>4.25</td><td>Eppt (in/yr)(25% of total annual precipitation)</td></tr></tbody></table>	40	ET _a (inches/year)	8,764	LA (ft ²)	0	SLA (ft ²)	17	Total annual precipitation (inches/year)	4.25	Eppt (in/yr)(25% of total annual precipitation)		
40	ET _a (inches/year)												
8,764	LA (ft ²)												
0	SLA (ft ²)												
17	Total annual precipitation (inches/year)												
4.25	Eppt (in/yr)(25% of total annual precipitation)												
Enter Effective Precipitation													
Results: MAWA = [(ET _a - Eppt) x (0.62)] x [(0.45 x LA) + ((1.0 - 0.45) x SLA)]	<table><tbody><tr><td>87,414</td><td>Gallons</td></tr><tr><td>11,685.63</td><td>Cubic Feet</td></tr><tr><td>116.86</td><td>HCF</td></tr><tr><td>0.27</td><td>Acre-feet</td></tr><tr><td>0.09</td><td>Millions of Gallons</td></tr></tbody></table>	87,414	Gallons	11,685.63	Cubic Feet	116.86	HCF	0.27	Acre-feet	0.09	Millions of Gallons		
87,414	Gallons												
11,685.63	Cubic Feet												
116.86	HCF												
0.27	Acre-feet												
0.09	Millions of Gallons												

Estimated Total Water Use	
Equation: ETWU = ET _a x 0.62 x [(PF x HA)/IE] + SLA; Considering precipitation ETWA = (ET _a - Eppt) x 0.62 x [(PF x HA)/IE] + SLA	
Enter values in Pale Blue Cells	
Tan Cells Show Results	
Messages and Warnings	
Irrigation Efficiency Default Value for overhead 0.75 and drip 0.81.	
Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Medium	0.4 - 0.6
High	0.7 - 1.0
SLA	1.0

Hydrozone	Select System From the Dropdown List click on cell below	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft ²) Without SLA	Enter Irrigation Efficiency (IE)	(PF x HA (ft ²))/IE
Zone 1	Drip	Low	0.30	8,589	0.81	3,181
Zone 2	Drip	Low	0.30	175	0.81	65
				SLA		3,246
				Sum		0
						8,764

Results	
MAWA =	87,414

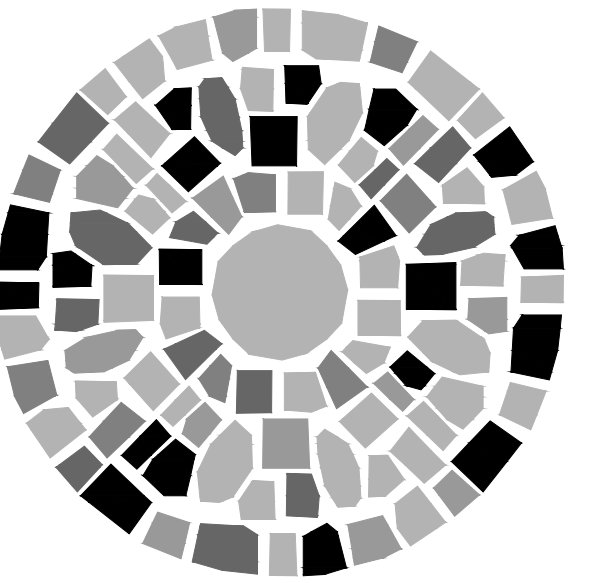
ETWU =	71,946 Gallons	ETWU complies with MAWA
	9,618 Cubic Feet	
	96.18 HCF	
	0.22 Acre-feet	
	0.07 Millions of Gallons	

HYDROZONE SUMMARY

HYDROZONE #	SYMBOL	DESCRIPTION
A		HYDROZONE A- 8589 SF SHRUBS AND GROUND COVER IRRIGATED WITH DRIP IRRIGATION
B		HYDROZONE B -175 SF TREES IRRIGATED WITH DEEP ROOT BUBBLERS
C		HYDROZONE C -731 SF NON IRRIGATED COBBLE MULCH
		TOTAL LANDSCAPE AREA - 9495 SF



DATE APRIL 2, 2019
SCALE 1" = 20' - 0"
DRAWN BY MER
CHECKED BY JR



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PROJECT & CLIENT NAME
PHASE 1 & 2

GATEWAY
APARTMENTS
& COMMERCIAL

Hinsely Porter
1200 21ST STREET
BAKERSFIELD, CA 93301
PHONE (661) 327-0362

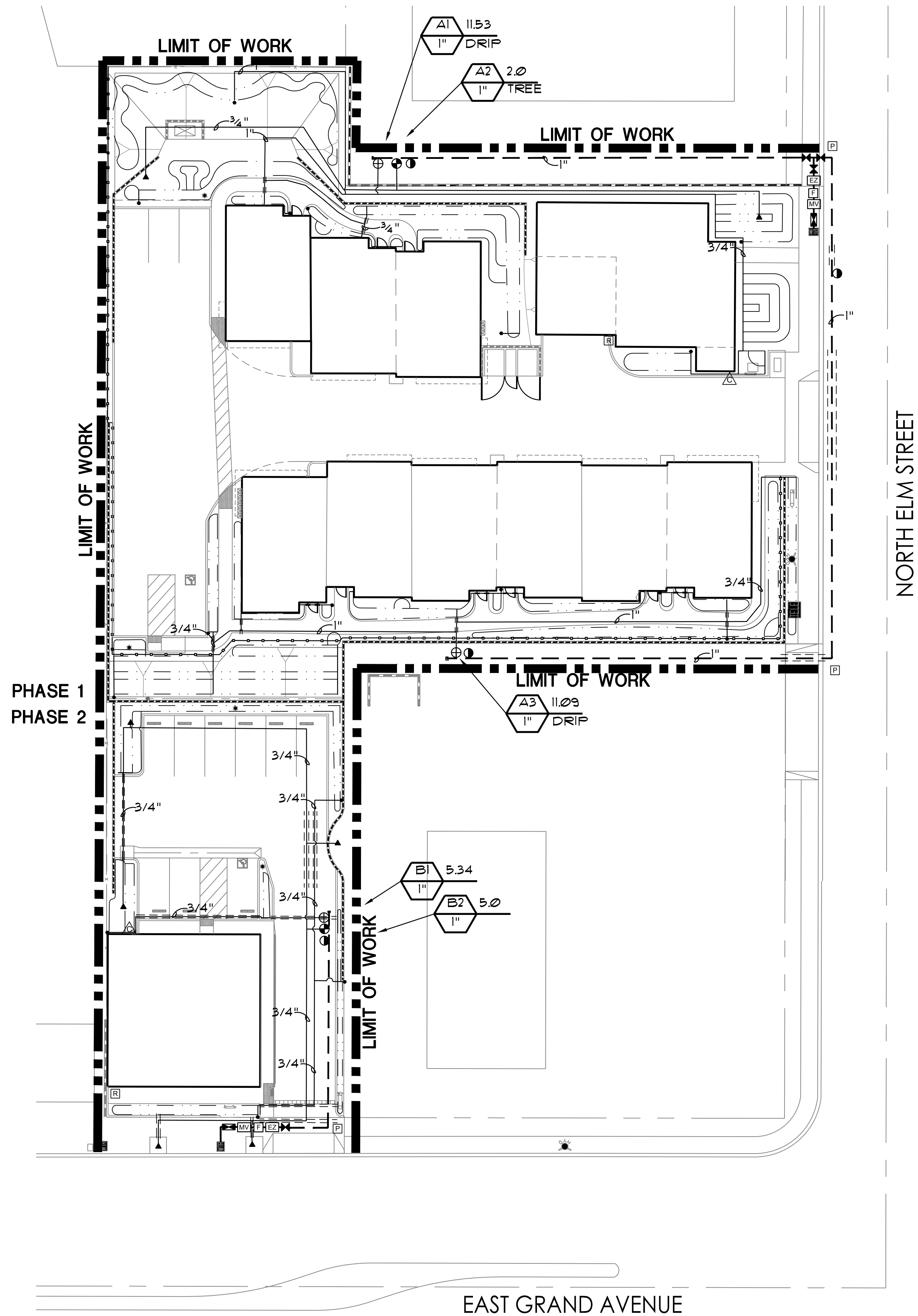
SHEET DESCRIPTION

HYDROZONE PLAN

REVISIONS

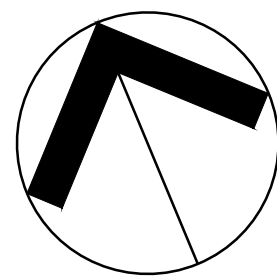
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IRRIGATION PLAN

SCALE: 1" = 20' - 0"



IRRIGATION PLAN NOTES

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS, AS DESCRIBED IN THE SPECIFICATIONS, AND IN ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.

DESIGN REFLECTS COMPLIANCE WITH CALIFORNIA STATE MWEO, (MODEL WATER EFFICIENT LANDSCAPE ORDINANCE) AND/OR THE LOCAL GOVERNING AGENCY'S ADOPTED WATER EFFICIENT LANDSCAPE ORDINANCE.

DRAWINGS ARE DIAGRAMMATIC. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS NECESSARY TO CONFORM TO ACTUAL FIELD CONDITIONS.

CONTRACTOR SHALL FLUSH ALL LINES AND ADJUST ALL HEADS FOR OPTIMUM PERFORMANCE IN ACCORDANCE WITH THE SPECIFICATIONS AND TO PREVENT OVERSPRAY ONTO HARDSCAPE AREAS OR STRUCTURAL ELEMENTS. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. COSTS INCURRED DUE TO ANY ADJUSTMENTS FOR 100% COVERAGE, INCLUDING THOSE REQUESTED BY THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

SYSTEM DESIGN IS BASED ON A MINIMUM OPERATING PRESSURE (P.S.I.) AND A MAXIMUM DEMAND (G.P.M.) AS SHOWN AT EACH POINT OF CONNECTION ON THE DRAWINGS. CONTRACTOR SHALL VERIFY PRESSURE AND DEMAND AT EACH POINT OF CONNECTION PRIOR TO COMMENCING INSTALLATION AND SUBMIT SUCH IN WRITING TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IF ANY DISCREPANCIES EXIST, THEY SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE.

EQUIPMENT SHOWN IN HARDSCAPE AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WHENEVER POSSIBLE WITHIN PLANTED AREAS A REASONABLE, REACHABLE DISTANCE FROM HARDSCAPE AREAS

UNLESS OTHERWISE NOTED ON THE DRAWINGS, CONTRACTOR SHALL INSTALL WIRE AND PIPE UNDER HARDSCAPE AREAS IN P.V.C. SCHEDULE 40 SLEEVES PLACED PRIOR TO INSTALLING HARDSCAPE IN ACCORDANCE WITH APPLICABLE CODES. THE LOCATION OF SLEEVING INDICATED ON CIVIL ENGINEER'S PLANS SHALL TAKE PRECEDENCE OVER THE LANDSCAPE PLANS.

WHEREVER POSSIBLE, CONTROL WIRES SHALL OCCUPY THE SAME TRENCH AS PIPES.

EACH CONTROLLER SHALL HAVE ITS OWN INDEPENDENT GROUND WIRE.

SPLICING OF 24 VOLT WIRES WILL NOT BE PERMITTED EXCEPT IN VALVE BOXES. CONTRACTOR TO LEAVE A 24" COIL OF EXCESS WIRE AT EACH SPLICE AND EVERY 100' ON CENTER ALONG WIRE RUN. TAPE WIRE BUNDLES 10' ON CENTER. NO TAPING WILL BE PERMITTED INSIDE SLEEVES.

WIRE CONNECTORS SHALL BE 3M DBR/Y6 OR APPROVED EQUAL.

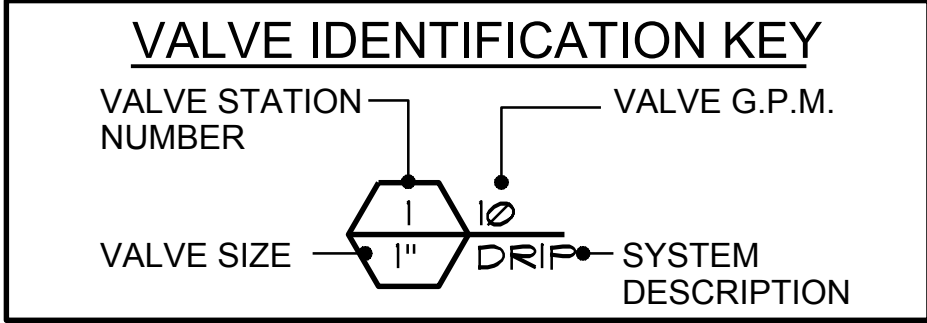
CONTROL VALVES SHALL BE SIZED AS DESIGNATED ON THE DRAWINGS AND SHALL BE INSTALLED IN VALVE BOXES AS INDICATED IN THE DETAILS. BOXES SHALL BE SET FLUSH WITH THE FINISH GRADE OR SURFACE AND PERMANENTLY MARKED WITH THE LETTERS R.C.V.

FINAL LOCATION FOR BACKFLOW PREVENTION DEVICES SHALL BE APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLING. CONTRACTOR SHALL NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION AND TESTING OF INSTALLED BACKFLOW PREVENTION DEVICE.

CONTRACTOR SHALL INSTALL ANTI-DRAIN CHECK VALVES AS NECESSARY TO PREVENT LOW HEAD DRAINAGE.

IRRIGATION HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE DESIGNATED ON THE PLANS.

REFER TO WINTERIZATION NOTES ON THIS SHEET FOR THE PROCESS REQUIRED EACH YEAR BEFORE TEMPERATURES DROP BELOW 32° F. TO PROTECT THE IRRIGATION LINES FROM DAMAGE DUE TO FREEZING TEMPERATRURES.



POINT-OF-CONNECTION #A

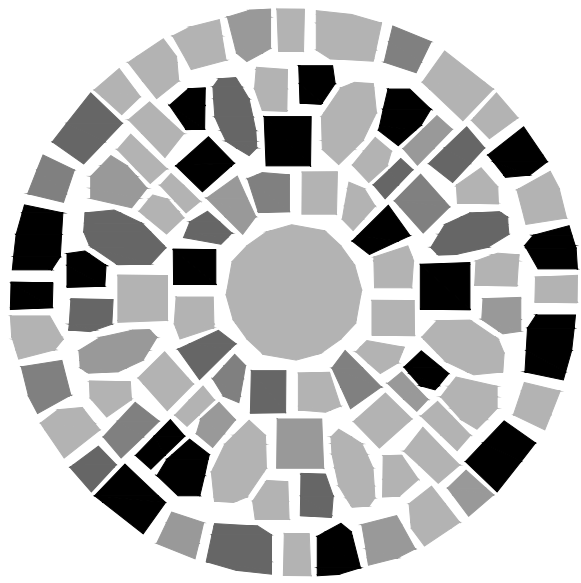
WATER METER- 2"
STATIC WATER PRESSURE- 75 PSI
BACKFLOW PREVENTER- 1" RP BFP
CONTROLLER- 3 STATIONS
MAXIMUM FLOW DEMAND- 11.53 GPM

POINT-OF-CONNECTION #B

WATER METER- 1"
STATIC WATER PRESSURE- 75 PSI
BACKFLOW PREVENTER- 1" RP BFP
CONTROLLER- 2 STATIONS
MAXIMUM FLOW DEMAND- 5.34



DATE	APRIL 2, 2019
SCALE	1" = 20' - 0"
DRAWN BY	MER
CHECKED BY	JR



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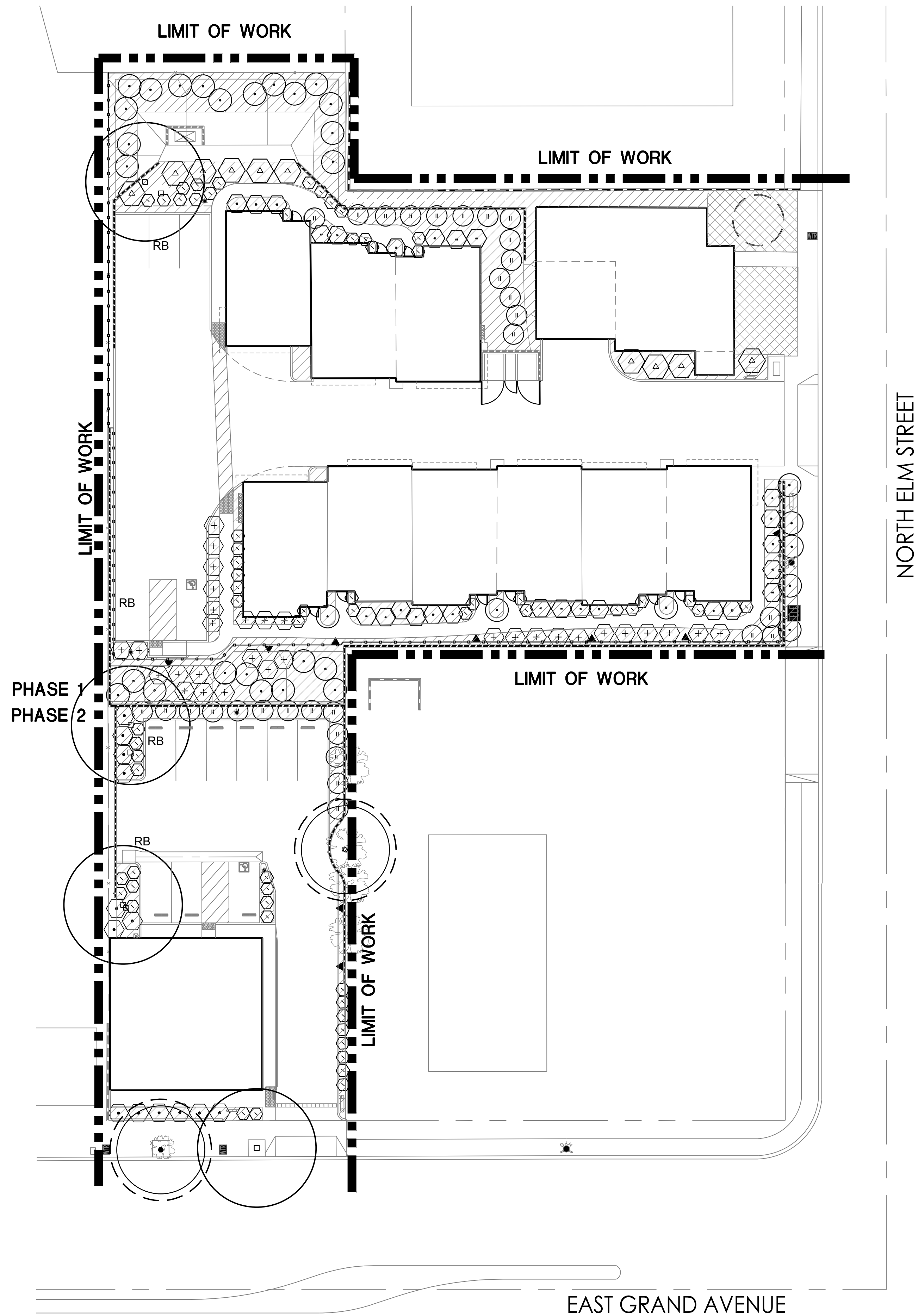
SHEET DESCRIPTION

IRRIGATION PLAN
& NOTES

REVISIONS

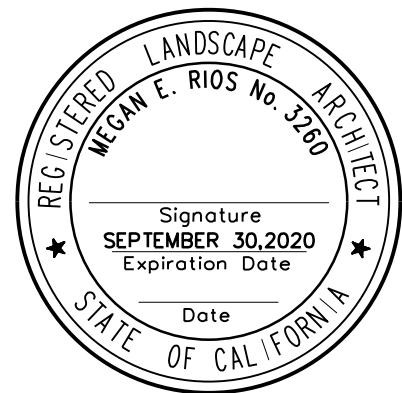
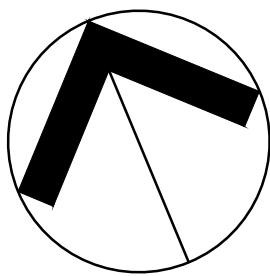
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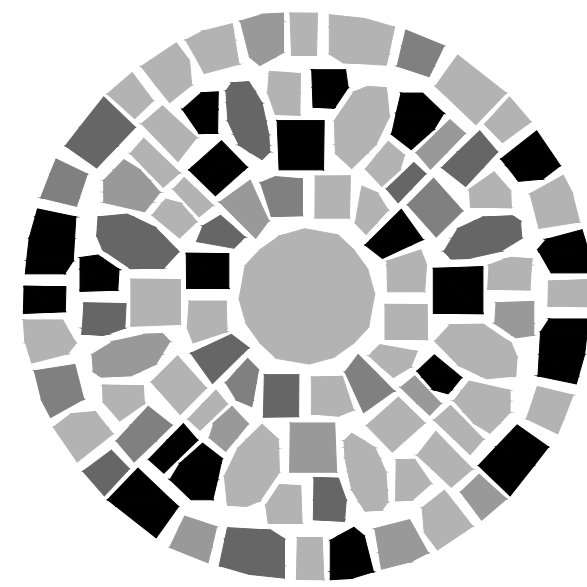


PLANTING PLAN
SCALE: 1" = 20' - 0"

PLANTING LEGEND- TREES & SHRUBS						
TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WULCOS	
EX CUP	CUPANIOPSIS ANICARDIOIDES	EXISTING CARROTWOOD TO REMAIN		1	M	
EX QUE	QUERCUS SPP.	EXISTING OAK TO REMAIN		1	L	
EX JUN	JUNIPERUS CHINENSIS 'TORLOSA'	EXISTING PINE TO REMAIN		1	L	
PIS CHI	PISTACIA CHINENSIS	CHINESE PISTACHE	24" BOX STD	4	L	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WULCOS	
ANI HYB	ANIGOZANTHOS HYBRID 'BUSH BABY'	KANGAROO PAW	5 GAL	13	L	
CAL LJ	CALLISTEMON VIMIALIS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL	10	L	
FES GLA	FESTUCA OVINA 'ELIJAH BLUE'	BLUE GRASS	1 GAL	60	L	
LEU JES	LEUCODENDRON 'SAFARI RED'	LEUCODENDRON	5 GAL	35	L	
LOM PB	LOMANDRA LONGIFOLIA 'PLANTINUM BEAUTY'	VARIGATED DWARF MAT RUSH	1 GAL	30	L	
NAN HD	NANDINA DOMESTICA 'HARBOR DWARF'	HEAVENLY BAMBOO	5 GAL	27	L	
PIT TEN	PITTOSPORUM TENUIFOLIUM 'MAJORIE CHANNON'	KOHUHU	5 GAL	29	M	
	EXISTING JUNIPERS TO REMAIN	CONTRACTORS SHALL PROVIDE DRIP IRRIGATION	965 SF		L	
VINES						
BOU BK	BOUGANVILLEA 'BARBARA KARST'	BOUGANVILLEA	5 GAL	10	L	
MULCH						
	3" THK COBBLE MULCH	GRAY GRAVEL	3/4" DIA	731 SF		
	3" THK SHRUB BED MULCH	WALK ON WOOD WOOD MULCH		8589 SF		



DATE	APRIL 2, 2019
SCALE	1" = 20' - 0"
DRAWN BY	MER
CHECKED BY	JR



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SHEET DESCRIPTION
PLANTING PLAN

REVISIONS

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