

CONSULTING ARCHITECT

**ACS Architectural
Construction
Services
Inc**

101 Shipyard Way
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acs-architects.com

NPB | MKE | ATL



five BELOW



"ARROYO GRANDE, CA"
901 RANCHO PARKWAY
ARROYO GRANDE, CA 93420

DESIGN CRITERIA

BUNZL	STORE FACILITY EQUIPMENT, REFER TO FIO FOR SCHEDULE AND ADDITIONAL INFO	8338 AUSTIN AVENUE MORTON GROVE, IL 60053	CHRISTINA HUBER	(847) 583-1111 X10643
CIMA NETWORK	OUTDOOR SIGNAGE	210A PROGRESS DRIVE MONTGOMERYVILLE, PA 19366	RAFAEL TORRES	(951) 139-4931
PREMIERE EUROCASE	MILLWORK	12000 E 56TH AVENUE #K DENVER, CO 80233	DARREN SEAMAN	(717) 201-313
LOZIER	WALL,FLOOR,GONDOLA FIXTURES	6336 JOHN J PERSHING DRIVE OMAHA, NE 68109	MIKE MCLAN	(915) 526-4313
AMSIVE	GRAPHICS FIVEBELOWAMSIVE.COM	1701 NORTHLAND PARKWAY HOBART, IN 46342	BRAD MARSH KIM NADLER	(719) 940-1022 (719) 850-1662
QUESTMARK/CENTIMARK	CONCRETE FLOOR POLISHING	17 GRANDVIEW CIRCLE CANNONBURG, PA 15317	RON FRITT	(484) 488-3048
SPECIALTY LIGHTING GROUP	LIGHTING FIXTURES	14 PICKERING STREET PORTLAND, CT 06480	JEANNETTE ALVARDO DANIEL CARROLL	(860) 767-0910 X33 (860) 421-6661
UAS	ALARMS	700 BROOKHALL DR BROOMFALL, PA 19008	REBECCA GULP THERESA OSTEN	X206
LEVEL 10	PHONE, DATA, SOUND SYSTEM WIRING	2498 PEMBROKE AVENUE HOFFMAN ESTATES, IL 60163	SCOTTS JOHANSON	(847) 805-9801
POWERHOUSE DYNAMICS	SITE SAGE EMS SYSTEM	1 BRIDGE STREET, 2ND FLOOR NEWTON, MA 02459	KIM TOIGO	(617) 340-6582 X 334
DFHFACE NATIONAL ACCOUNTS	DOOR HARDWARE FIVEBELOWDOORS@DFHFACE.COM	1901 E 19TH ST OLATHE, KS 66061	FB CUSTOMER SERV. CHARLES GIRTMAN	(817) 579-2333
QMI USA	DOOR - MOTORIZED GRILLE	1661 GLENLAKE AVE. ITASC A, IL 60143	KEVIN BECERRA	(630) 980-1316
YORK NATIONAL ACCOUNT	HVAC EQUIPMENT REFER TO MCH, DUGGS FOR ADD. INFO.	5005 YORK DRIVE MORTON, KS 13069	SHAILINA MILLER JOHN WEBSTER	(405) 419-6171 (561) 946-9090

APPLICABLE CODES: JURISDICTION: CITY OF ARROYO GRANDE, CA BUILDING: 2019 CALIFORNIA BUILDING CODE Mechanical: 2019 CALIFORNIA MECHANICAL CODE ELECTRICAL: 2019 CALIFORNIA ELECTRICAL CODE PLUMBING: 2019 CALIFORNIA PLUMBING CODE ACCESSIBILITY: 2019 CALIFORNIA ACCESSIBILITY CODE FIRE: 2019 CALIFORNIA FIRE CODE MUNICIPAL: ARROYO GRANDE MUNICIPAL CODE	EGRESS: OCCUPANT LOAD: (TABLE 1004.12) TOTAL SQFT: 9372 SQ FT SALES: 1361 SF / 140 PER PERSON + 138 PERSONS STOCK: 968 SF / 300 SF PER PERSON + 3 PERSONS TOTAL OCCUPANT LOAD: 141 PERSONS
OCCUPANCY: USE GROUP: M - MERCANTILE (SECTION 302.31) CONSTRUCTION TYPE: IIB UNPROTECTED (FULLY SPRINKLERED)	CODE REQUIREMENTS: (CHAPTER 10) MAXIMUM TRAVEL DISTANCE TO EXIT 250 FT. M-MERCANTILE 75 FT. S-STORAGE 100 FT. (SPRINKLED BUILDING) MAXIMUM DEAD END CORRIDOR LENGTH 50 FT. MINIMUM CORRIDOR / AISLE WIDTH 36 IN. MINIMUM CLEAR OPENING OF EXIT DOORS 32 IN. TOTAL EGRESS WIDTH REQUIRED: 0.20' PER PERSON X 141 PERSONS = 28 IN.
CONSTRUCTION: - FIRE RESISTANT RATINGS OF STRUCTURAL ELEMENTS (TABLE 601) - TENANT SPACE SEPARATIONS 1 HR - COLUMNS 0 HR - INTERIOR BEARING WALLS 0 HR - NON-BEARING WALLS WITHIN SPACE 0 HR - BEAMS, GIRDERS, TRUSSES & ARCHES 0 HR - ROOF / CEILING CONSTRUCTION 0 HR	PLUMBING CODE: PER CFC 422) SALES: 1361 / 200 OCC 46 OCC STOCKROOM: 968 / 5000 + 1 OCC WATER 41 OCC TOTAL CLOSET REQUIRED: 1 SINGLE PER 4222 EXCEPTION (3) WATER PROVIDED: 2 UNISEX LAVATORY REQUIRED: 1 SINGLE PER 4222 EXCEPTION (3) LAVATORY PROVIDED: 2 UNISEX WOP SINK REQUIRED: 1 WOP SINK PROVIDED: 1 DRINKING FOUNTAIN REQUIRED: 1 PER 150 DRINKING FOUNTAIN PROVIDED: 1

SHEET INDEX

SHEET	DESCRIPTION	ISSUE DATE	REV.1	REV.2	REV.3	REV.4	REV.5	REV.6	REV.7
ARCHITECTURAL									
T10	COVER SHEET/ KEY PLAN	6/14/22							
SPI	SITE PLAN	6/14/22							
T11	EGRESS PLAN	6/14/22							
T12	ADA STANDARDS	6/14/22							
GN10	GENERAL NOTES	6/14/22							
GN11	GENERAL SPECIFICATIONS	6/14/22							
D10	DEMOLITION FLOOR PLAN	6/14/22							
D12	DEMOLITION ELEVATIONS	6/14/22							
A10	FINISH PLAN	6/14/22							
A11	FIXTURE PLAN	6/14/22							
A20	REFLECTED CEILING PLAN	6/14/22							
A30	INTERIOR ELEVATION	6/14/22							
A31	INTERIOR ELEVATION	6/14/22							
A40	EXTERIOR ELEVATION	6/14/22							
A41	EXTERIOR ELEVATION	6/14/22							
A42	STOREFRONT SECTION	6/14/22							
A43	RESTROOM DETAILS	6/14/22							
A44	BREAKROOM ELEVATION	6/14/22							
A50	DOOR SCHEDULE 4 MANAGERS OFFICE	6/14/22							
A51	WALL SECTION DETAILS	6/14/22							
A60	TYPICAL DETAILS	6/14/22							
F10	SIGNAGE	6/14/22							
F11	CASHURAP DETAILS	6/14/22							
F20	GONDOLA 4 SHELVING DETAILS	6/14/22							
F21	GONDOLA 4 SHELVING DETAILS	6/14/22							

SYMBOL LEGEND

DETAIL DETAIL NO. DIG. NO.	EXISTING WALL
SECTION DETAIL SECTION NO. DIG. NO.	WALL DEMO
ELEVATION DETAIL ELEVATION NO. DIG. NO.	NEW METAL STUD W/ GYP. BD.
VERTICAL ELEVATION VERTICAL ELEV.	NEW CONTINUOUS 1 HR FIRE RATED PARTITION
REVISION INDICATES A CHANGE OR CHANGES TO AN APPROVED DOCUMENT SEE REV. SECTION ON THIS SHEET	CONCRETE
NORTH ARROW INDICATES PROJECT'S NORTH DIRECTION	CHUBBLOCK WALL

RESPONSIBILITY SCHEDULE

[illegible]

PROJECT DIRECTORY

TENANT FIVE BELOW INC. 101 MARKET ST. SUITE 300 PHILADELPHIA, PA 19106	BUILDING DEPARTMENT CITY OF ARROYO GRANDE 300 E. BRANCH STREET ARROYO GRANDE, CA
ARCHITECT ACS ARCHITECTS 100 SUIPERARD WAY SUITE B NEWPORT BEACH, CA 92663 TEL: 714-436-3000 CONTACT: RUTH GARIBALDI rgaribaldi@acs-architects.com	TENANT COORDINATOR PETER GOODWILL INVESTED MANAGEMENT CORPORATION 2000 E. GAMBELL ST. SUITE 2000 SANTA BARBARA, CA 93101
MEP ENGINEER RTM ENGINEERING CONSULTANTS 4430 OLDFORT DRIVE SUITE 545 HUNTSVILLE, AL 35894 TEL: 256-381-3500 CONTACT: JEFF HANCOCK jeff.hancock@rtm.com	STRUCTURAL ENGINEER CARUSO TURLEY SCOTT STRUCTURAL ENGINEERS 175 W. RIO SALADO PKWY SUITE 200 TEMPLE, AZ 85281 TEL: 480-714-1700 CONTACT: DAVID TROYELL dtroyell@ctse.com

SCOPE OF WORK

INTERIOR TENANT IMPROVEMENT FOR A NEW +/-9372 SF. FIVE BELOW STORE IN AN EXISTING RETAIL SPACE. SCOPE OF WORK INCLUDES NEW FURNITURE, FIXTURES AND FINISHES THROUGHOUT. MINOR EXTERIOR MODIFICATIONS TO EXISTING STOREFRONT FOR NEW ENTRANCE DOORS W/ NEW CANOPY ABOVE 4 NEW EXTERIOR PAINT. INFILLING EXISTING DOORS WITH NEW GLAZING TO MATCH EXISTING

DEFERRED SUBMITTALS

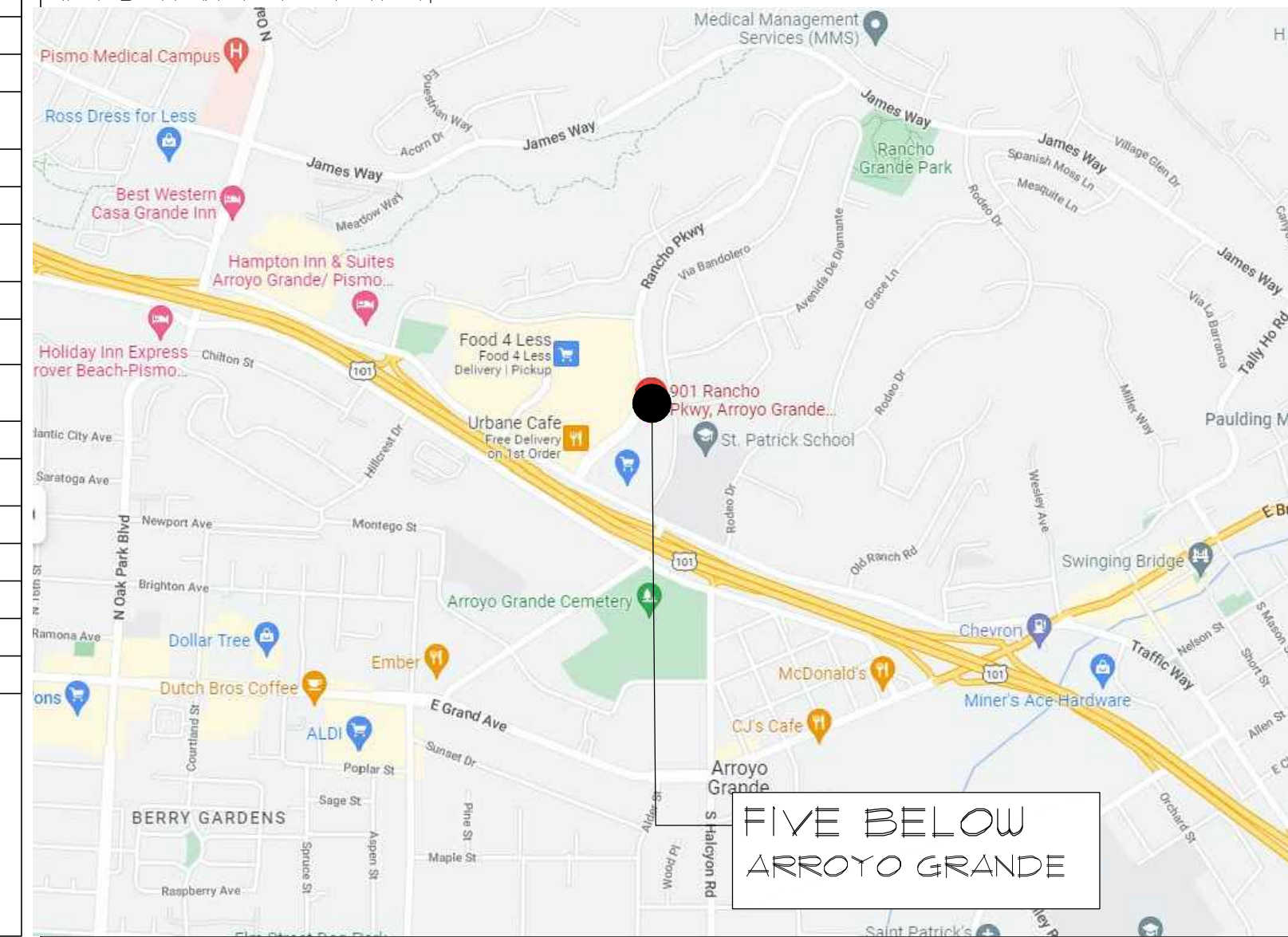
1. FIRE SPRINKLER SYSTEM
2. FIRE ALARM SYSTEM
3. SIGNAGE DRAWINGS
4. FIXED STORAGE RACKS OVER 5'-9"

PLANS FOR THE DEFERRED SUBMITTAL ITEM SHALL BE SUBMITTED IN A TIMELY MANNER THAT
 ALLOWS A MINIMUM OF 30 WORKING DAYS FOR INITIAL PLAN REVIEW. ALL COMMENTS
 RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE
 PLAN CHECK DIVISION PRIOR TO APPROVAL OF SUBMITTAL ITEMS.

COMMENTS

[illegible]

VICINITY MAP



KEY PLAN



CONSULTANTS

ARCHITECTURAL SEAL



ARCHITECTS PROJECT

ARCHITECTS PROJECT
Job # 2A0003

DATE ISSUE

[illegible]

	6/13/2022	PERMIT SUBMITTAL
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△	DATE	REVISION
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PROJECT NAME / LOCATION



ARROYO GRANDE
901 RANCHO PARKWAY
ARROYO GRANDE, CA 93420

PROJECT INFORMATION

DATE: 03.29.2022

PROJECT NO. TGG30-001

DELIVERY TYPE: AS IS

DRAWN BY: RR/RG

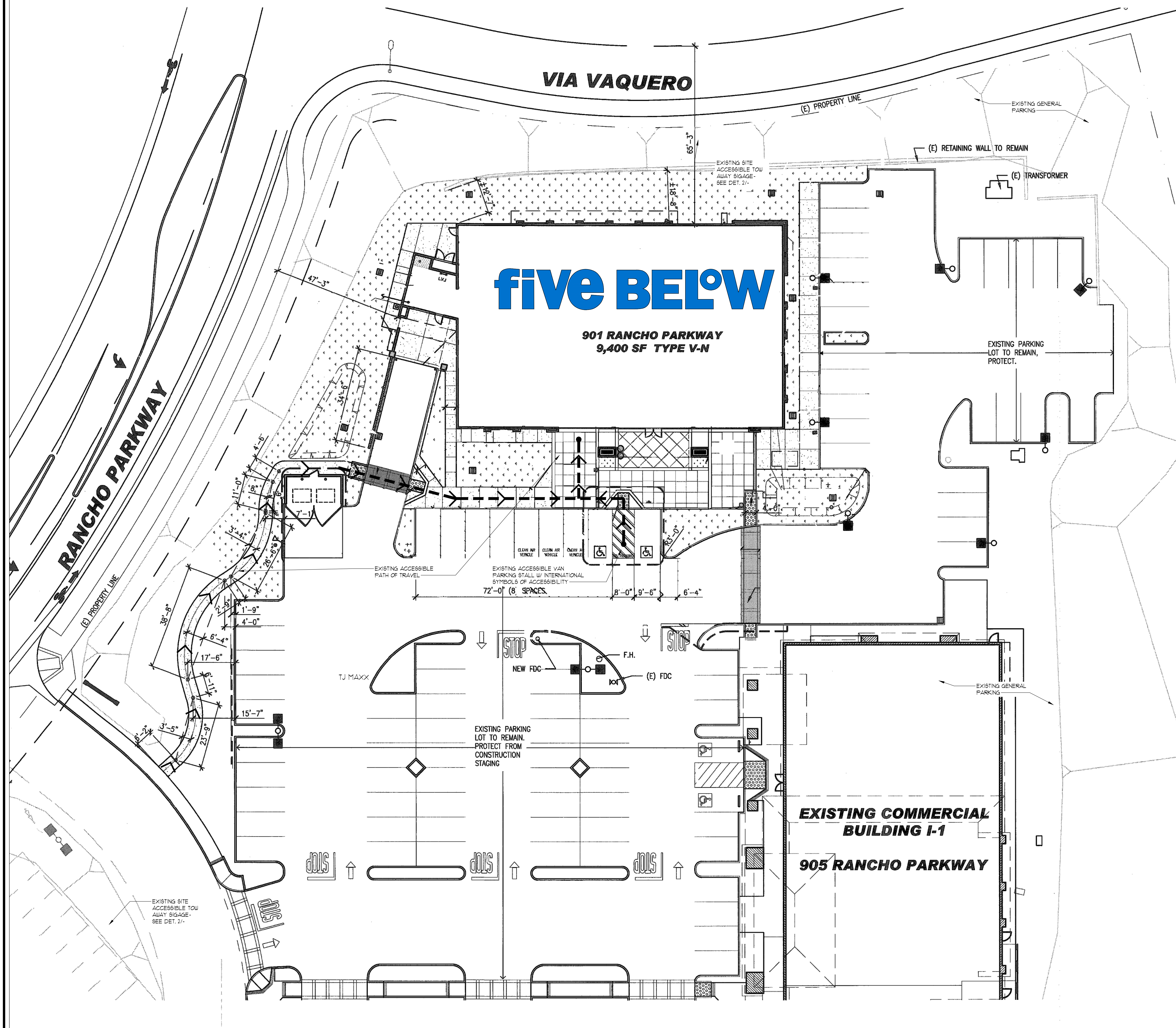
REVIEWED BY: RG

TITLE

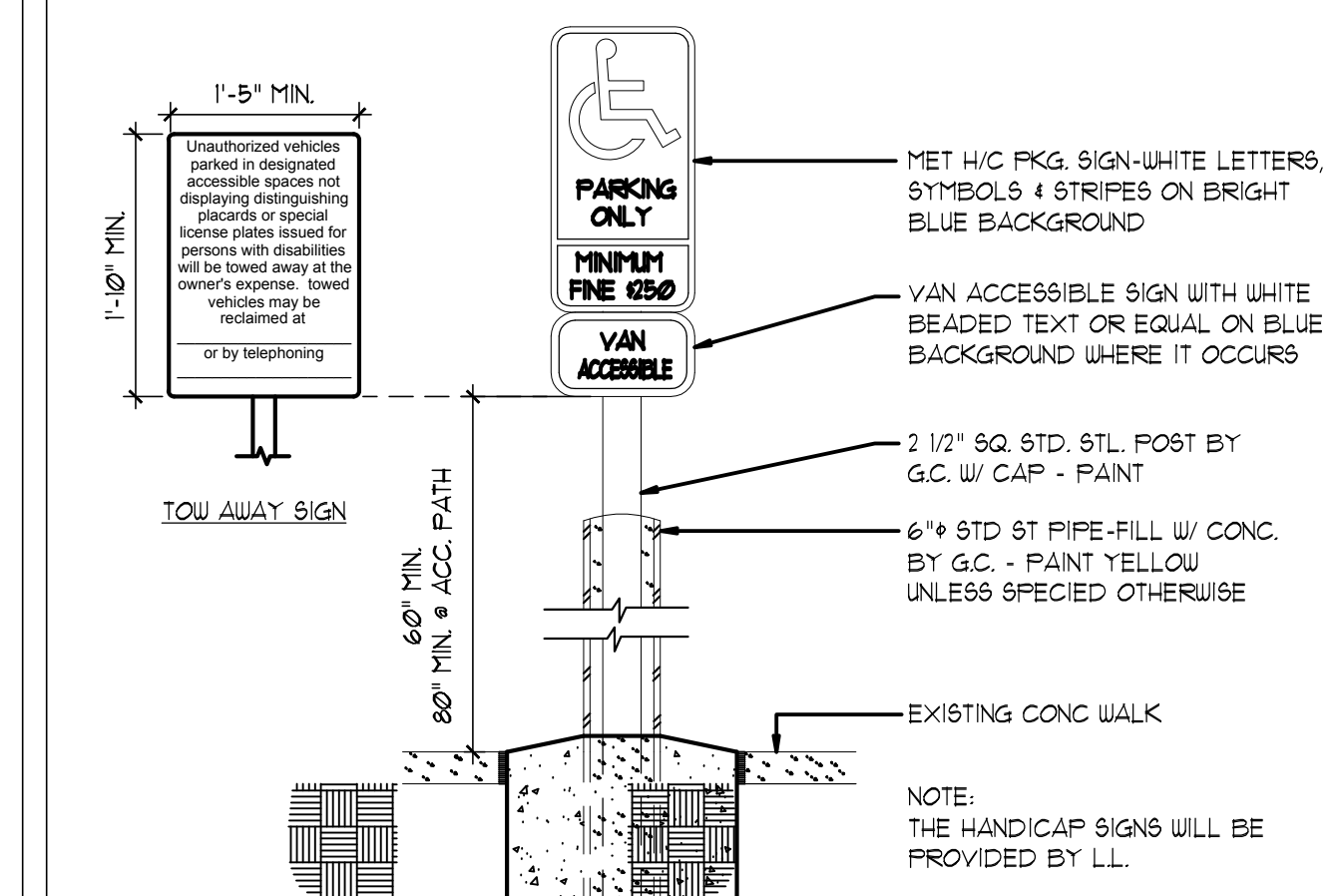
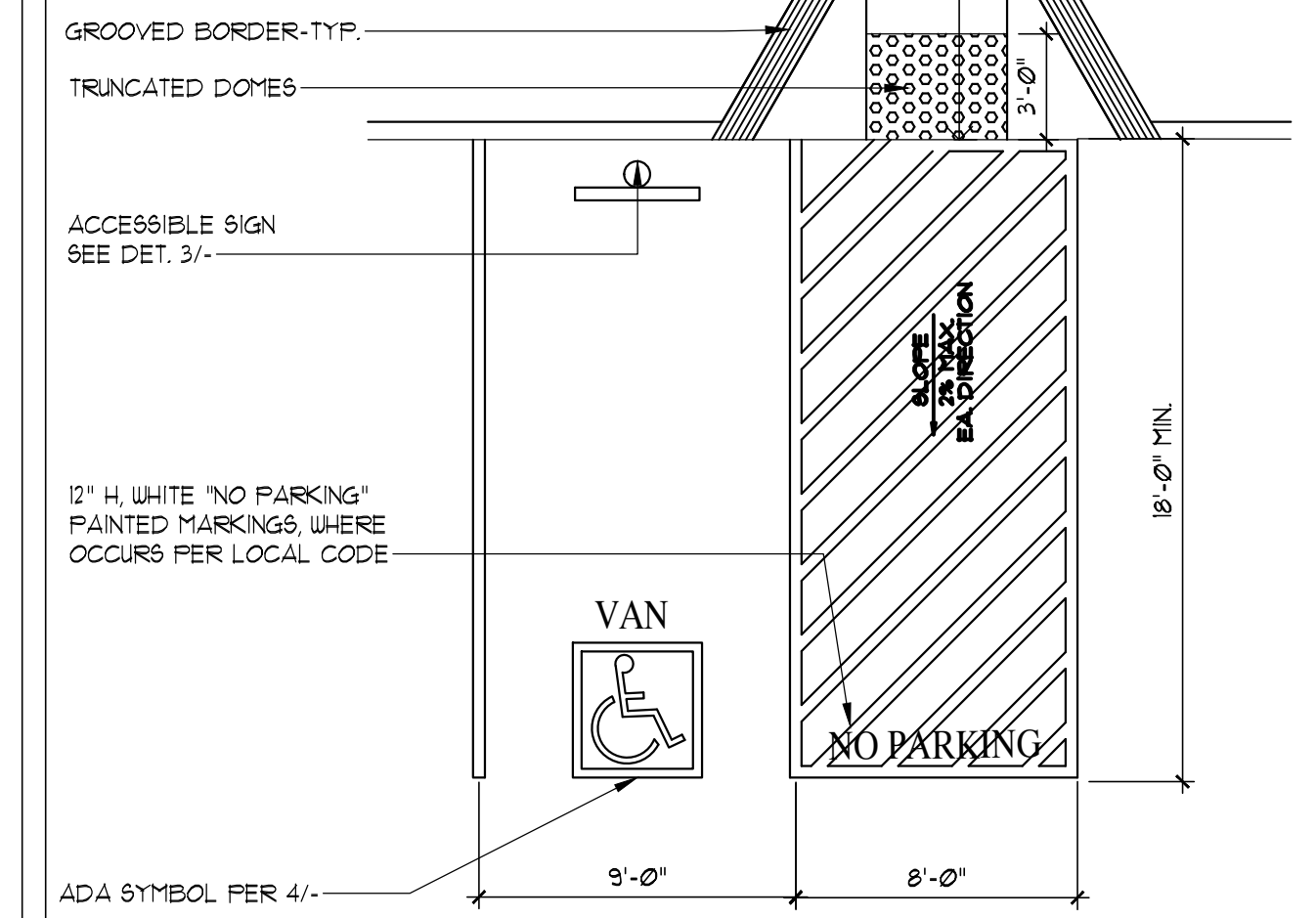
COVER SHEET
KEY PLAN

SHEET NUMBER

T1.0



THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 (5%), THE CROSS SLOPE OF WALKING SURFACES SHALL BE STEEPER THAN 1:48 (2%), AND THE CLEAR WIDTH FOR SIDEWALKS SHALL BE 48" MIN. —



3	VAN ACCESSIBEL SIGN (N.I.C. REFERENCE ONLY)
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3'-0"

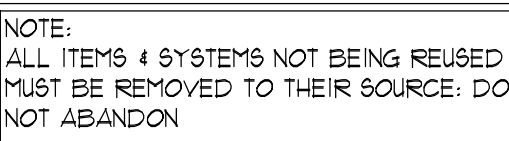
3'-0"

2'-9"

2'-9"

24" DIAMETER

HANDICAPPED PARKING IDENTIFICATION LOGO TO BE PAINTED ON PAVING - SEE SPECIFICATION



SCALE: 3/16" = 1'-0"

SHEET NUMBER

0'-0" AFF.
FINISHED FLOOR

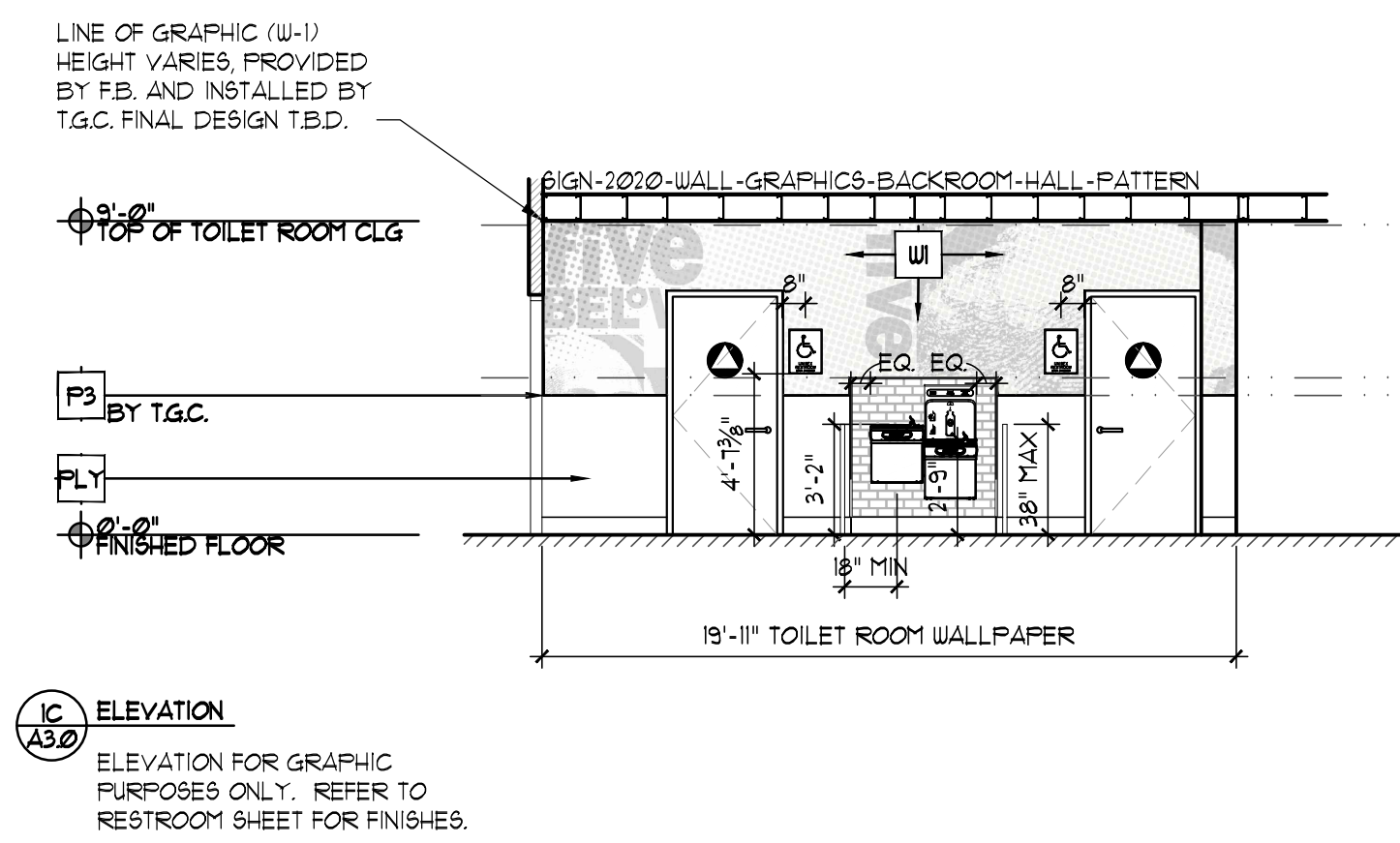
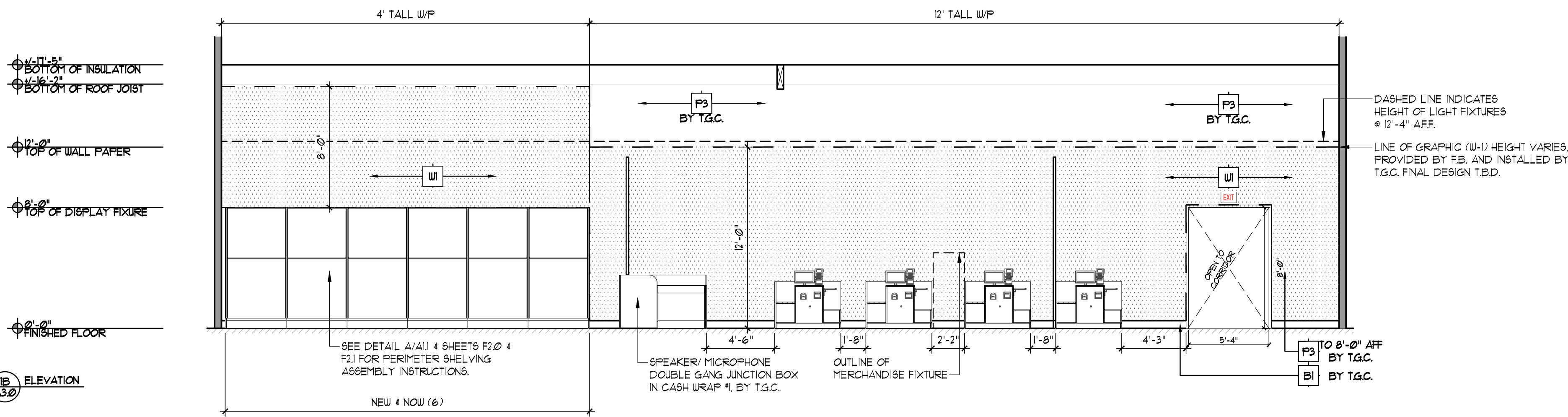
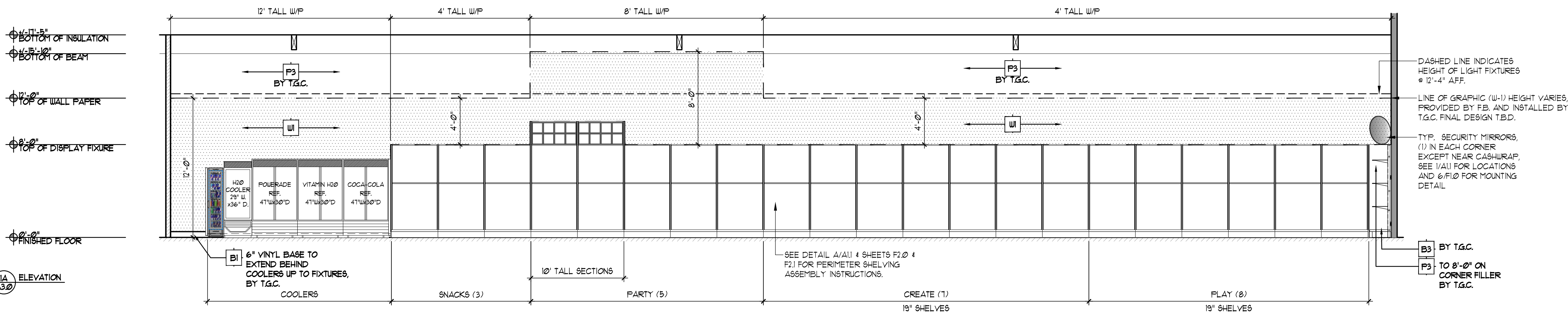
EXISTING STOREFRONT DOORS, DOOR
FRAME & TRANSOM TO BE REMOVED (AS
SHOWN IN DASHED). -COORDINATE WITH
EXTERIOR ELEVATIONS ON A4.0 AND A4.1

SCALE: 1/4" = 1'-0"

A	OPEN
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D1.2

[illegible]



- NOTE:
- WALLPAPER IS PROVIDED BY FIVE BELOW & INSTALLED BY T.G.C.
 - WALLS PAINTED P-3 FROM SLAB TO DECK ABOVE.
 - ALL INTERIOR FINISHES SHALL BE CLASS 'A' PER NFPA 255 FLAME SPREAD RATING OF 25 OR LESS WITH MAX. SMOKE GENERATION FACTOR OF 450.

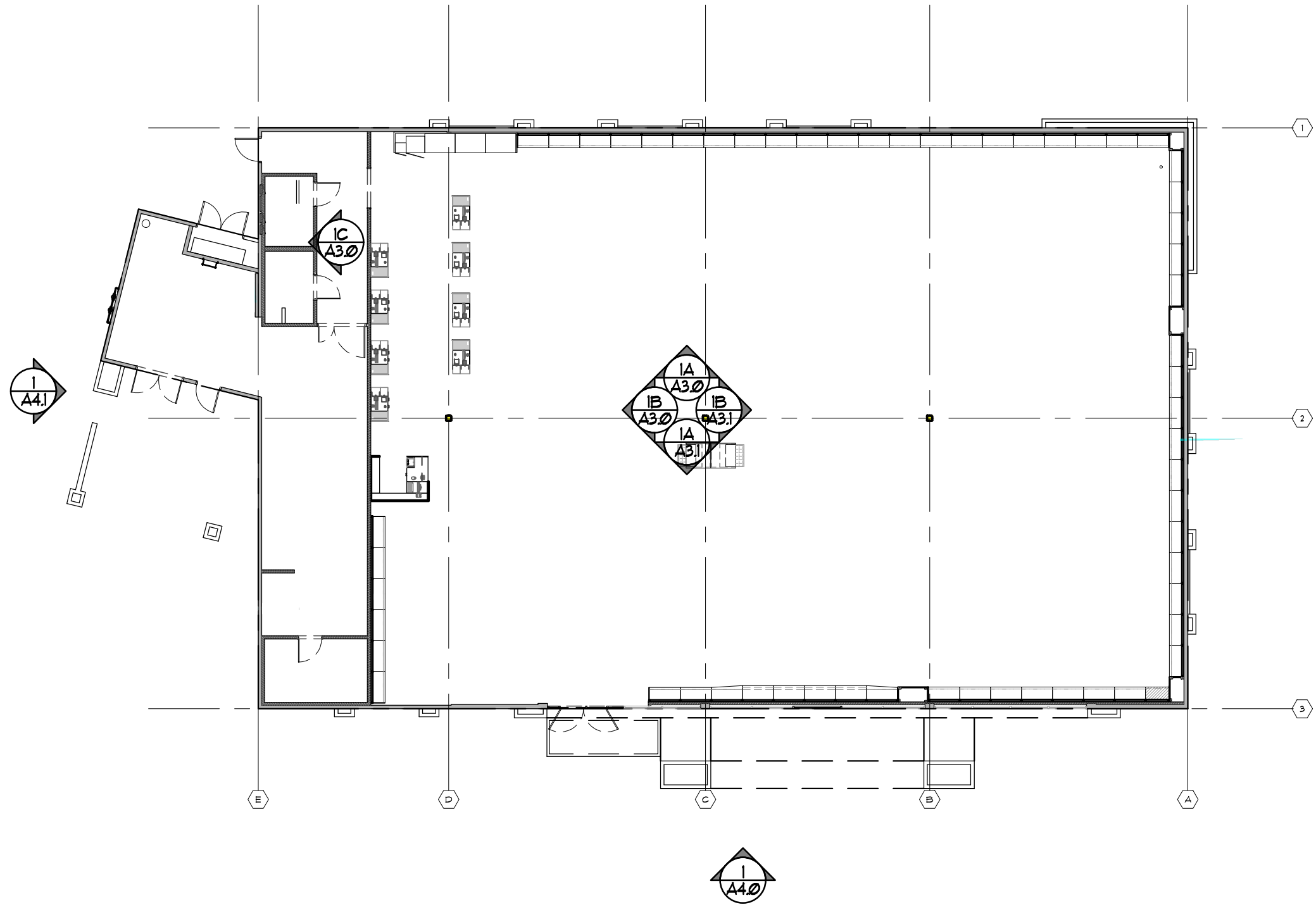
- WALLPAPER NOTE:
- ALIGN ALL WALLPAPER (U) AT 12'-0" AFF. UNO.
 - T.G.C. TO REFER TO VENDOR PROVIDED WALLPAPER LAYOUT INCLUDED WITH THE WALLPAPER MATERIAL PRIOR TO INSTALLATION.
 - RESTROOM ELEVATION C/A3.0 IS FOR GRAPHICAL PURPOSES ONLY. REFER TO RESTROOM ELEVATION ON 2E/A4.1 FOR ADDITIONAL INFO.

1 INTERIOR ELEVATIONS

SCALE: 3/16" = 1'-0"

FINISH	DESCRIPTION / MATERIAL	MANUFACTURER	SPEC / FINISH	COLOR *
FLOORING FINISH				
F1	POLISHED CONCRETE OVER (E) CONCRETE SLAB	QUESTMARK CONC.	SALES AREA CORRIDOR AREA	N/A
F2	9" x 9" x 5/8" LVT	MOHAWK GROUP	COLE / 558	958
F3	POLISHED CONCRETE OVER (E) CONCRETE SLAB	QUESTMARK CONC.	STOCK ROOM AREA	N/A
F4	8" x 12" x 1/8" LUXURY VINYL TILE (LVT)	TANDUS CENTIVA	MANAGER'S OFFICE	1012
F5	6" x 825" x 1/16" INLAID SHEET VINYL FLOORING	ARMSTRONG	WHITE CLIFFS	88102
F6	12" x 12" x 5/16" CERAMIC TILE (VIT) GROUT JOINTS	TILE - DELTILE	DECO ART - CORLON	Q423 (1)
BASE FINISH				
B1	6" VINYL COVE BASE	MOHAWK	CYL03 - NIGHT SKIES	002
B2	6" PAINTED BASE AT BOTTOM OF COLUMNS	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC EGG-SHELL SHEEN	SW-6758
B3	6" PAINTED BASE ON BOTTOM OF CORNER FILLER	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC EGG-SHELL SHEEN	SW-6758
CEILING FINISH				
C1	MITLWOOD DECK - OPEN TO JOISTS ABOVE - NO HUNG CLG	SHERWIN WILLIAMS	WATERBORNE DRYFALL LOW VOC - FLAT SHEEN	SW-1005
C2	24" x 48" ACOUSTIC CEILING SYSTEM	ARMSTRONG	CORTEGA	141
C3	GYPSON BOARD CEILING LEVEL 4 FINISH	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC SEMI GLOSS SHEEN	SW-1005
WALL FINISH				
P1	PURE WHITE PAINT	SHERWIN WILLIAMS	WATERBORNE DRYFALL LOW VOC - FLAT SHEEN	SW-1005
P2	PURE WHITE PAINT	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC SEMI-GLOSS SHEEN	SW-1005
P3	PURE WHITE PAINT	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC EGG-SHELL SHEEN	SW-1005
P4	91% WHITE PAINT	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC EGG-SHELL SHEEN	SW-1010
P5	SYMMETRIX - SMART SEAM (SATIN ANODIZE TRIM)	MARLITE	5111 5500-063-R1 ABOVE BASE UP TO 4'-6"	WHITE SUBWAY
P6	1/2" BANDED / PAINTABLE SMOOTH FLYWOOD	LOCAL LUMBER	SMOOTH FTR. FLYWOOD TO 4'-0" AFF.	PAINTED P3
U1	WALLPAPER	VISION INTEGRATED GRAPHICS	CUSTOM	N/A

INTERIOR FINISH RATING: ALL INTERIOR FINISHES SHALL BE CLASS 'A' PER NFPA 255-FLAME SPREAD RATING OF 25 OR LESS WITH MAXIMUM SMOKE GENERATION FACTOR OF 450.



SCALE: N.T.S.

C OPEN

D OPEN

A PAINT FINISH LEGEND / NOTES

B KEY PLAN

CONSULTANTS

ARCHITECTURAL SEAL



ARCHITECTS PROJECT
Job # 2A0003

DATE ISSUE

6/13/2022 PERMIT SUBMITTAL

DATE REVISION

PROJECT NAME / LOCATION

five BELOW

ARROYO GRANDE
901 RANCHO PARKWAY
ARROYO GRANDE, CA 93420

PROJECT INFORMATION

DATE: 03.29.2022
PROJECT NO. TGG30-001
DELIVERY TYPE: AS IS

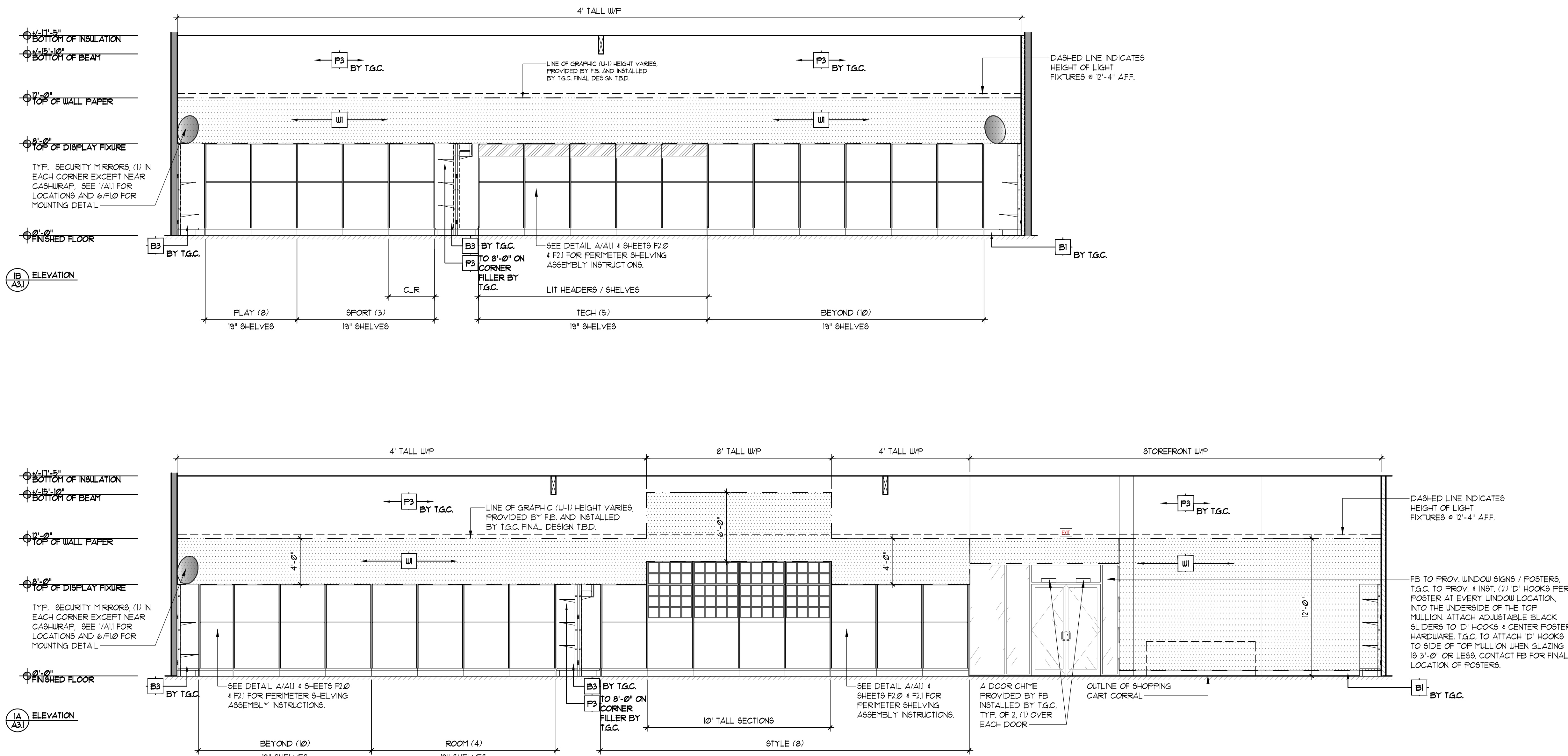
DRAWN BY: RR
REVIEWED BY: RG

TITLE

INTERIOR ELEVATIONS

SHEET NUMBER

A3.1



- NOTE:
1. WALLPAPER IS PROVIDED BY FIVE BELOW & INSTALLED BY T.G.C.
 2. WALLS PAINTED P-3 FROM SLAB TO DECK ABOVE.
 3. ALL INTERIOR FINISHES SHALL BE CLASS 'A' PER NFPA 255 FLAME SPREAD RATING OF 25 OR LESS WITH MAX. SMOKE GENERATION FACTOR OF 450.
 - 4.

- WALLPAPER NOTE:
1. ALIGN ALL WALLPAPER (W) AT 12'-0" AFF. UNO.
 2. T.G.C. TO REFER TO VENDOR PROVIDED WALLPAPER LAYOUT INCLUDED WITH THE WALLPAPER MATERIAL PRIOR TO INSTALLATION.
 3. RESTROOM ELEVATION IC/A3.0 IS FOR GRAPHICAL PURPOSES ONLY. REFER TO RESTROOM ELEVATION ON 2E/A4.1 FOR ADDITIONAL INFO.

1 INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

FINISH	DISCRIPTION / MATERIAL	MANUFACTURER	SPEC / FINISH	COLOR *
FLOORING FINISH				
F1	POLISHED CONCRETE OVER (E) CONCRETE SLAB	QUESTMARK CONC. POLISHING SYSTEM	SALES AREA CORRIDOR AREA	N/A
F2	3" x 9" x 5mm LVT	MOHAWK GROUP GROUND UP - C20215	COLE / 558	958
F3	POLISHED CONCRETE OVER (E) CONCRETE SLAB	QUESTMARK CONC. POLISHING SYSTEM	STOCK ROOM AREA MANAGER'S OFFICE	N/A
F4	18" x 18" x 18" LUXURY VINYL TILE (LVT)	TANDUS CENTIVA	CONTOUR SOAPSTONE	10712
F5	6" x 825" x 1/16" INLAID SHEET VINYL FLOORING	ARMSTRONG DECO ART - CORLON	WHITE CLIFFS S-543 ADHESIVE	88101
F6	12" x 12" x 5/16" CERAMIC TILE 1/4" GROUT JOINTS	TILE - DELTILE GROUT - MAPEI	TILE - VANILLA GROUT - ALABASTER	Q423 (1)
BASE FINISH				
B1	6" VINYL COVE BASE	MOHAWK	CYL003 - NIGHT SKIES	002
B2	6" PAINTED BASE AT BOTTOM OF COLUMNS	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC EGG-SHELL SHEEN	SW-6758
B3	6" PAINTED BASE ON BOTTOM OF CORNER FILLER	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC EGG-SHELL SHEEN	SW-6758
CEILING FINISH				
C1	MTL/WOOD DECK - OPEN TO JOISTS ABOVE - NO HUNG CLG	SHERWIN WILLIAMS	WATERBORNE DRYFALL LOW VOC - FLAT SHEEN	SW-1005
C2	24" x 48" ACOUSTIC CEILING SYSTEM	ARMSTRONG	CORTEGA	141
C3	GYP/PLST BOARD CEILING LEVEL 4 FINISH	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC SEMI GLOSS SHEEN	SW-1005
WALL FINISH				
P1	PURE WHITE PAINT	SHERWIN WILLIAMS	WATERBORNE DRYFALL LOW VOC - FLAT SHEEN	SW-1005
P2	PURE WHITE PAINT	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC SEMI-GLOSS SHEEN	SW-1005
P3	PURE WHITE PAINT	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC EGG-SHELL SHEEN	SW-1005
P4	SITE WHITE PAINT	SHERWIN WILLIAMS	PROMAR 200 ZERO VOC EGG-SHELL SHEEN	SW-1010
TRM	SYMMETRIX - SMART BEAM W/BATIN ANODIZE TRIM	MARLITE	5111 55000-063-R3 ABOVE BASE UP TO 4'-6"	WHITE SUBWAY
PLY	1/2" BANDED / PAINTABLE SMOOTH PLYWOOD	LOCAL LUMBER	SMOOTH F.T.R. PLYWOOD TO 4'-0" AFF.	PAINTED P3
W	WALLPAPER	VISION INTEGRATED GRAPHICS	CUSTOM	N/A

INTERIOR FINISH RATING: ALL INTERIOR FINISHES SHALL BE CLASS 'A' PER NFPA 255-FLAME SPREAD RATING OF 25 OR LESS WITH MAXIMUM SMOKE GENERATION FACTOR OF 450.

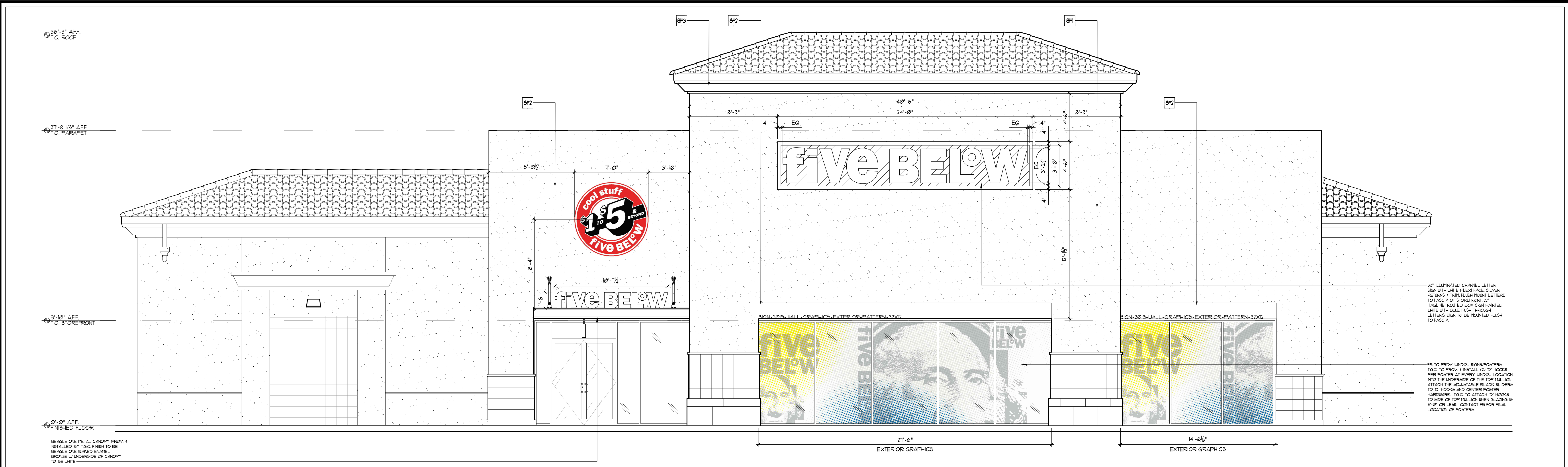
A PAINT FINISH LEGEND / NOTES

B KEY PLAN

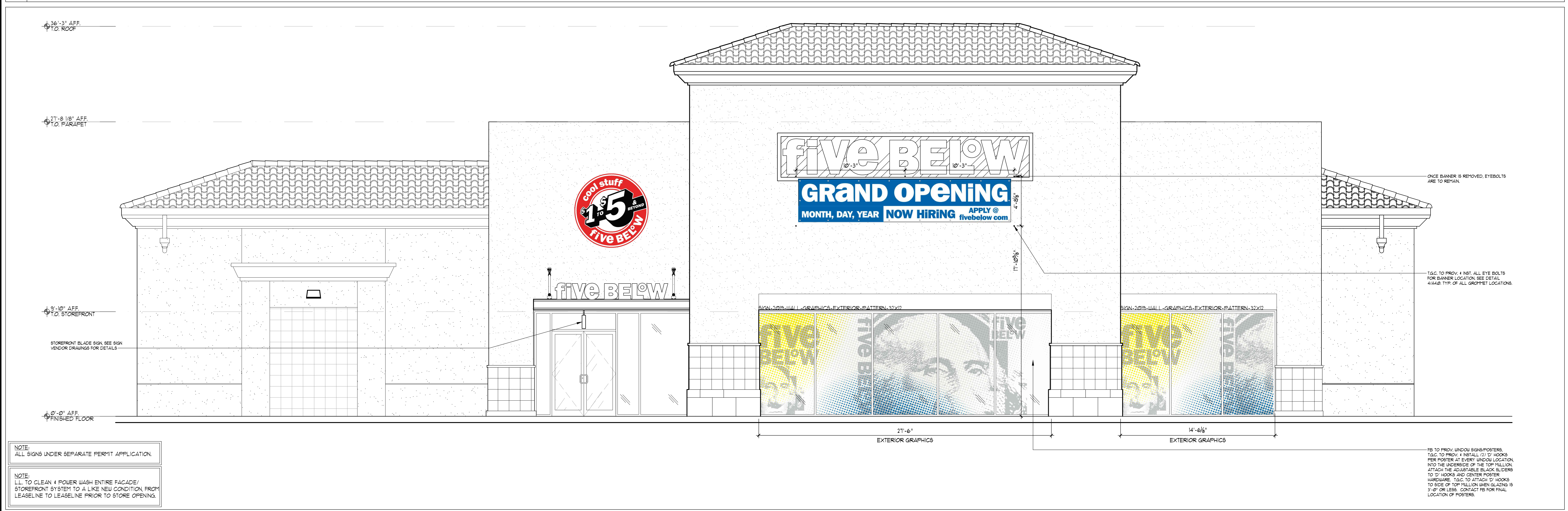
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C OPEN

D OPEN



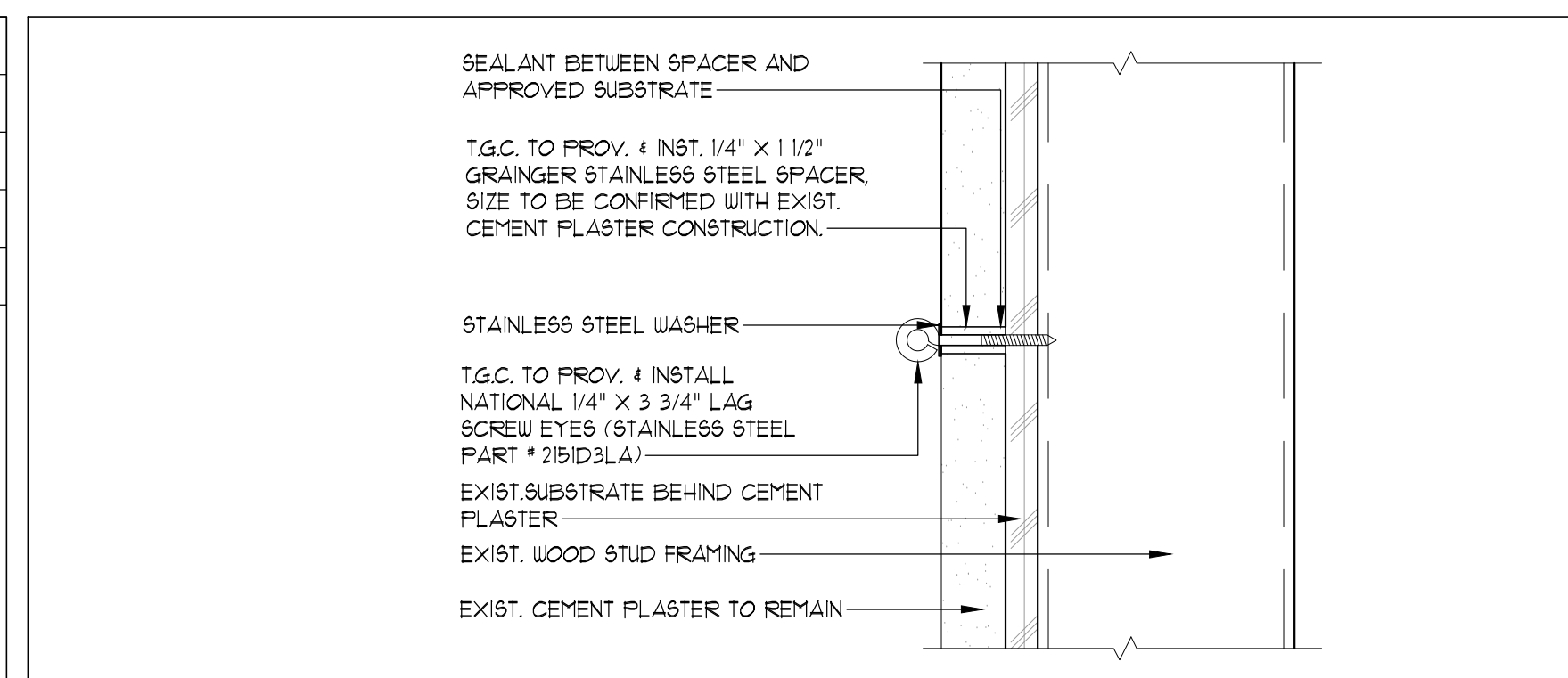
1 EXTERIOR ELEVATIONS



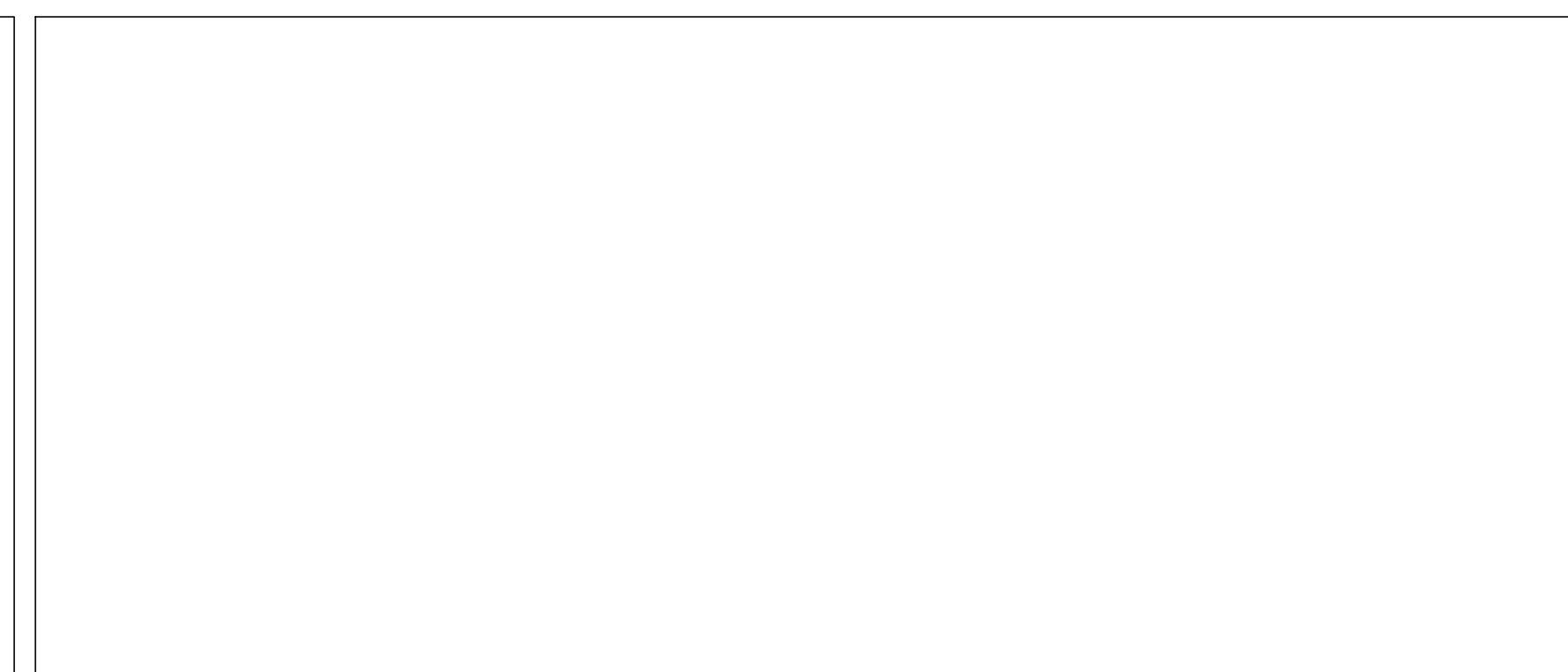
1 EXTERIOR ELEVATIONS

FINISH	DESCRIPTION / MATERIAL	MANUFACTURER	SPEC / FINISH	COLOR *
STOREFRONT FINISH				
SP1	STOREFRONT EIFS SYSTEM 1" MIN. DEPTH	DRYVIT OUTSULATION PLUS MD	FIVE BELOW BLUE SIGNAGE EIFS	FIVE-1010215 (TO MATCH PHS 285 C)
SP2	STOREFRONT FACADE	N/A	3" DRYVIT	456 OTSTER SHELL
SP3	CORNICHE EIFS SYSTEM	DRYVIT OUTSULATION PLUS MD	1" MIN. DEPTH	310 CHINA WHITE

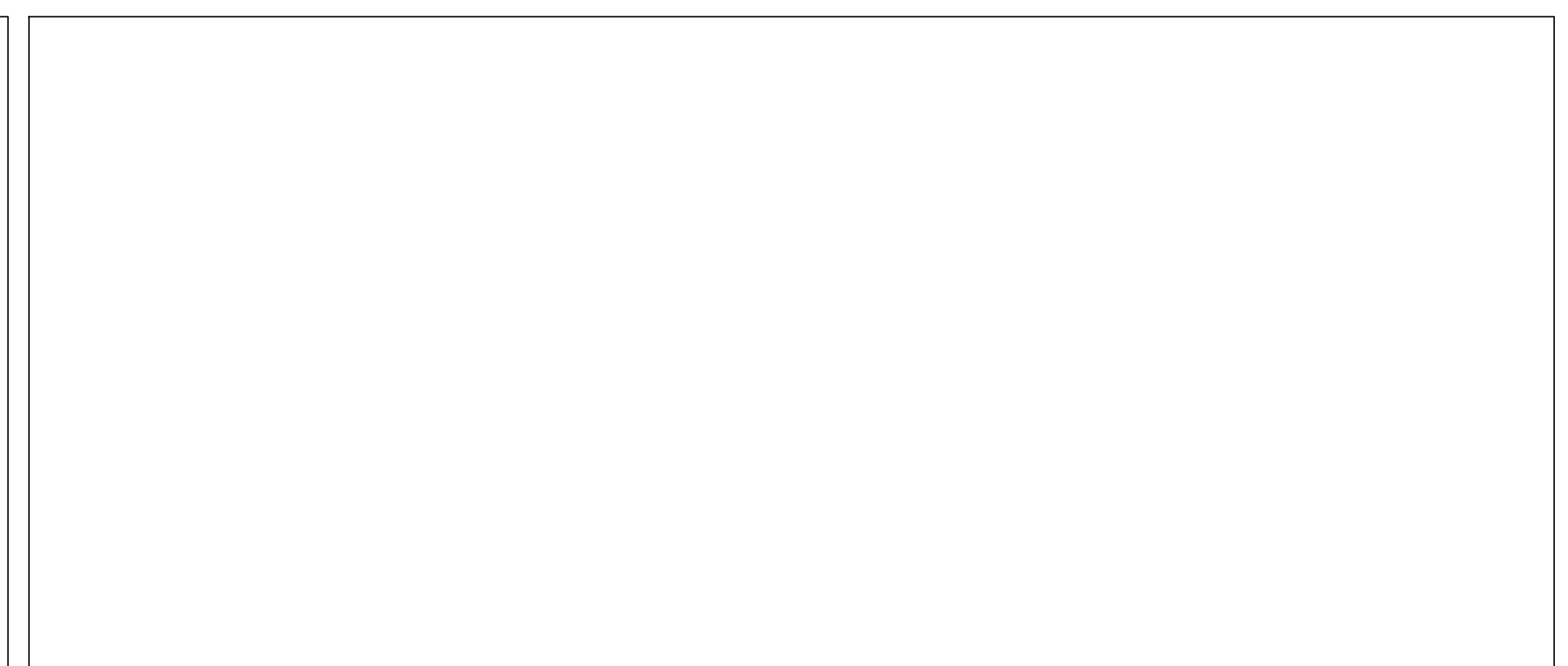
3 FINISHES LEGEND/ NOTES



4 BANNER HANG'G DTL./ EIFS



5 OPEN



OPEN

CONSULTING ARCHITECT



ACS Architectural
Construction
Services
Inc

101 Shipyard Way
Suite B
Newport Beach, CA
92663

T 714 436-9000
acs-architects.com

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CONSULTANTS

ARCHITECTURAL SEAL



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Job # 2A0003

DATE ISSUE

6/13/2022	PERMIT SUBMITTAL
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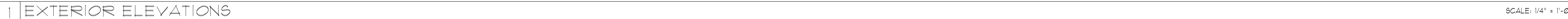
REVIEWED BY: RG

TITLE

EXTERIOR ELEVATIONS

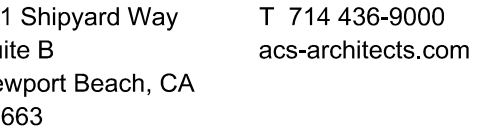
SHEET NUMBER

A4.0



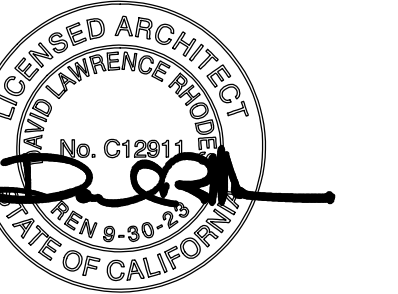
SCALE: 1/4" = 1'-0"

A	OPEN
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CONSULTANTS

ARCHITECTURAL SEAL

ARCHITECTS PROJECT
 ID # 2A0003[illegible]

6/13/2022	PERMIT SUBMITTAL
DATE	REVISION

PROJECT NAME / LOCATION	PROJECT TYPE	PROJECT DESCRIPTION	PROJECT STATUS	PROJECT START DATE	PROJECT END DATE	PROJECT BUDGET	PROJECT ACTUAL COST	PROJECT VARIANCE	PROJECT RISK	PROJECT IMPACT
Project A / Location A	Construction	Build new office building	Completed	2020-01-01	2020-12-31	\$1,000,000	\$950,000	\$50,000	Low	High
Project B / Location B	IT	Implement new software	In Progress	2021-01-01	2021-06-30	\$500,000	\$480,000	\$20,000	Medium	Medium
Project C / Location C	Marketing	Launch new product	Planned	2022-01-01	2022-03-31	\$200,000	\$200,000	\$0	Low	Low
Project D / Location D	HR	Recruit new staff	Completed	2020-06-01	2020-08-31	\$100,000	\$100,000	\$0	Low	Low
Project E / Location E	Finance	Review financial statements	In Progress	2021-03-01	2021-05-31	\$150,000	\$145,000	\$5,000	Medium	Medium
Project F / Location F	Operations	Optimize production process	Planned	2022-04-01	2022-07-31	\$300,000	\$300,000	\$0	Low	Low
Project G / Location G	Legal	Review legal contracts	Completed	2020-09-01	2020-11-30	\$75,000	\$75,000	\$0	Low	Low
Project H / Location H	IT	Upgrade server infrastructure	In Progress	2021-07-01	2021-09-30	\$120,000	\$115,000	\$5,000	Medium	Medium
Project I / Location I	Marketing	Develop marketing strategy	Planned	2022-08-01	2022-10-31	\$180,000	\$180,000	\$0	Low	Low
Project J / Location J	HR	Implement employee training	Completed	2020-12-01	2021-01-31	\$60,000	\$60,000	\$0	Low	Low
Project K / Location K	Finance	Conduct financial audit	In Progress	2021-10-01	2021-12-31	\$90,000	\$85,000	\$5,000	Medium	Medium
Project L / Location L	Operations	Improve supply chain management	Planned	2022-11-01	2023-01-31	\$250,000	\$250,000	\$0	Low	Low
Project M / Location M	Legal	Review intellectual property	Completed	2020-03-01	2020-05-31	\$40,000	\$40,000	\$0	Low	Low
Project N / Location N	IT	Implement data backup system	In Progress	2021-11-01	2022-01-31	\$80,000	\$78,000	\$2,000	Medium	Medium
Project O / Location O	Marketing	Launch social media campaign	Planned	2022-12-01	2023-02-28	\$110,000	\$110,000	\$0	Low	Low
Project P / Location P	HR	Develop recruitment strategy	Completed	2020-07-01	2020-09-30	\$50,000	\$50,000	\$0	Low	Low
Project Q / Location Q	Finance	Review investment portfolio	In Progress	2021-12-01	2022-02-28	\$130,000	\$125,000	\$5,000	Medium	Medium
Project R / Location R	Operations	Optimize warehouse layout	Planned	2023-03-01	2023-05-31	\$220,000	\$220,000	\$0	Low	Low
Project S / Location S	Legal	Review employment contracts	Completed	2020-04-01	2020-06-30	\$30,000	\$30,000	\$0	Low	Low
Project T / Location T	IT	Implement cybersecurity measures	In Progress	2022-03-01	2022-06-30	\$160,000	\$155,000	\$5,000	Medium	Medium
Project U / Location U	Marketing	Develop content marketing strategy	Planned	2023-06-01	2023-08-31	\$140,000	\$140,000	\$0	Low	Low
Project V / Location V	HR	Implement performance management system	Completed	2020-10-01	2020-12-31	\$70,000	\$70,000	\$0	Low	Low
Project W / Location W	Finance	Review budget for next year	In Progress	2022-01-01	2022-03-31	\$100,000	\$98,000	\$2,000	Medium	Medium
Project X / Location X	Operations	Improve customer service process	Planned	2023-09-01	2023-11-30	\$190,000	\$190,000	\$0	Low	Low
Project Y / Location Y	Legal	Review data privacy policy	Completed	2020-05-01	2020-07-31	\$45,000	\$45,000	\$0	Low	Low
Project Z / Location Z	IT	Implement cloud storage solution	In Progress	2022-05-01	2022-07-31	\$170,000	\$165,000	\$5,000	Medium	Medium
Project AA / Location AA	Marketing	Launch email marketing campaign	Planned	2023-10-01	2023-12-31	\$120,000	\$120,000	\$0	Low	Low
Project AB / Location AB	HR	Develop employee handbook	Completed	2020-11-01	2021-01-31	\$65,000	\$65,000	\$0	Low	Low
Project AC / Location AC	Finance	Review financial statements	In Progress	2022-02-01	2022-04-30	\$115,000	\$110,000	\$5,000	Medium	Medium
Project AD / Location AD	Operations	Optimize production process	Planned	2023-12-01	2024-02-28	\$210,000	\$210,000	\$0	Low	Low
Project AE / Location AE	Legal	Review intellectual property	Completed	2020-06-01	2020-08-31	\$55,000	\$55,000	\$0	Low	Low
Project AF / Location AF	IT	Implement data backup system	In Progress	2022-06-01	2022-08-31	\$155,000	\$150,000	\$5,000	Medium	Medium
Project AG / Location AG	Marketing	Launch social media campaign	Planned	2023-11-01	2024-01-31	\$1				

Five BELOW

ARROYO GRANDE
901 RANCHO PARKWAY
ARROYO GRANDE, CA 93420

SUBJECT INFORMATION

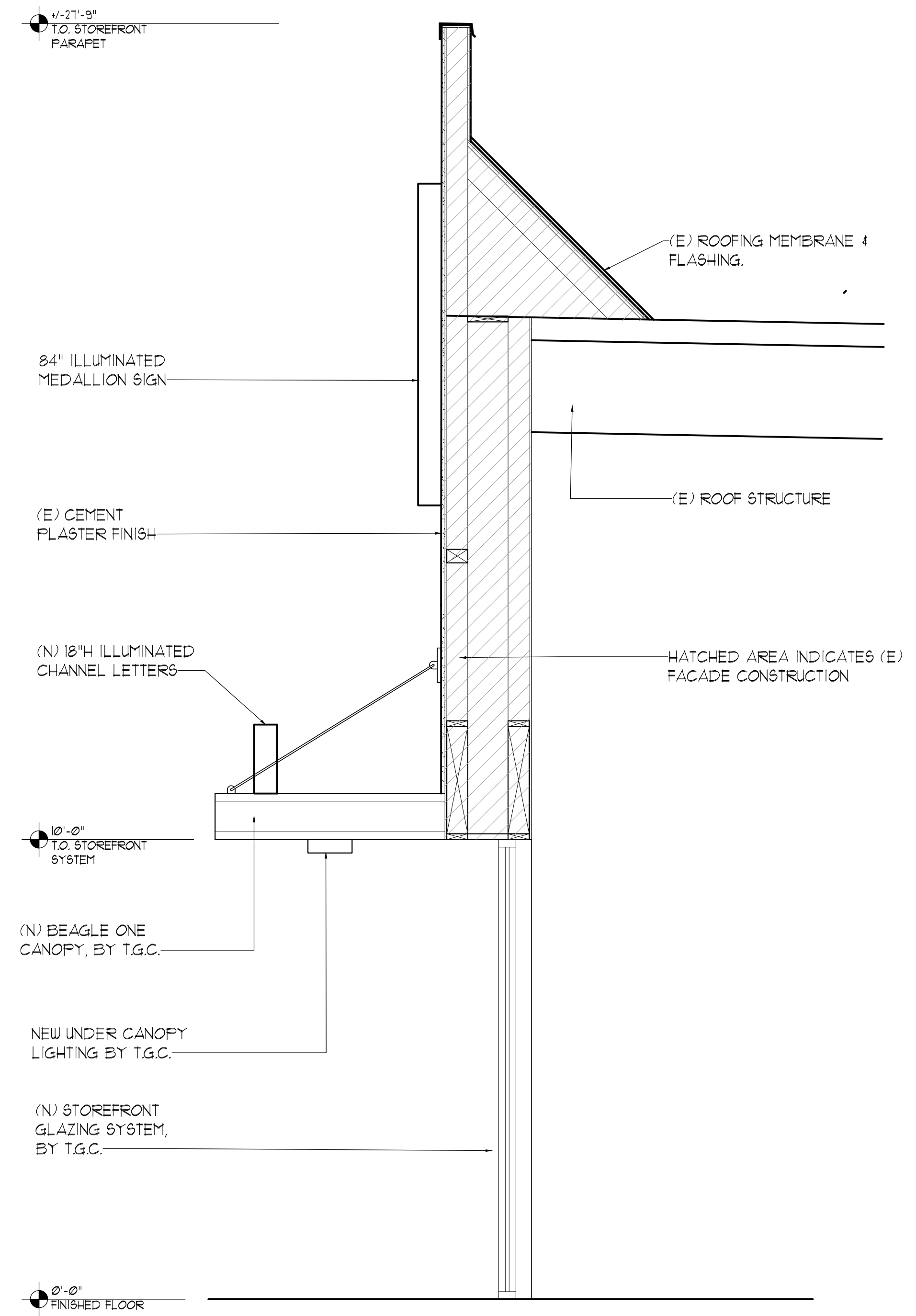
DATE: 03.29.2022
PROJECT NO. TGG30-001
DELIVERY TYPE: AS IS

VIEWED BY: R.G.

STOREFRONT SECTIONS
ENLARGED PLAN / ELEVATION

SHEET NUMBER

A4.2



NOTE:
ALL ROOFING IS EXISTING TO REMAIN. T.G.C. TO
VERIFY CONDITION AND ANYNEW WRK REQUIRED
SHALL TO BE T.G.C. PER L.L.'S APPROVED
ROOFER

NOTE:
SEE STRUCTURAL SHEETS FOR DETAILS

NOTE:
T.G.C. TO SUPPLY & INSTALL MTL. STUDS, &
PLYWOOD, & ROOFING MATERIAL & FLASHING AT
ENDS OF SLOPED ROOFING/FRAMING. FLASH
ALL CORNERS/CONNECTIONS AS REQ'D.

GEN. NOTES