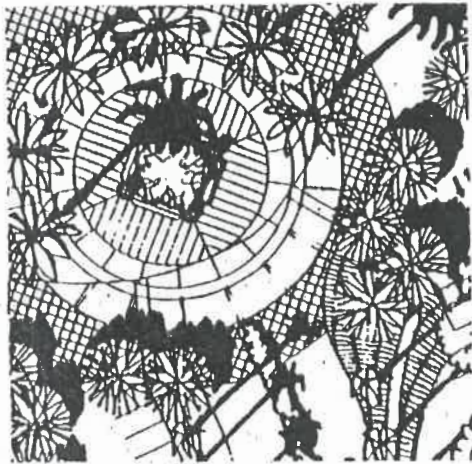


CENTRAL COAST
TOWN CENTER
ARROYO GRANDE, CALIFORNIA



DESIGN GUIDELINES

City of Arroyo Grande
Community Development Dept.

AUG 20 1997

THE CITY OF ARROYO GRANDE

Approved by the Architectural Advisory Committee May 5th 1997

CENTRAL COAST TOWN CENTER

City of Arroyo Grande, California

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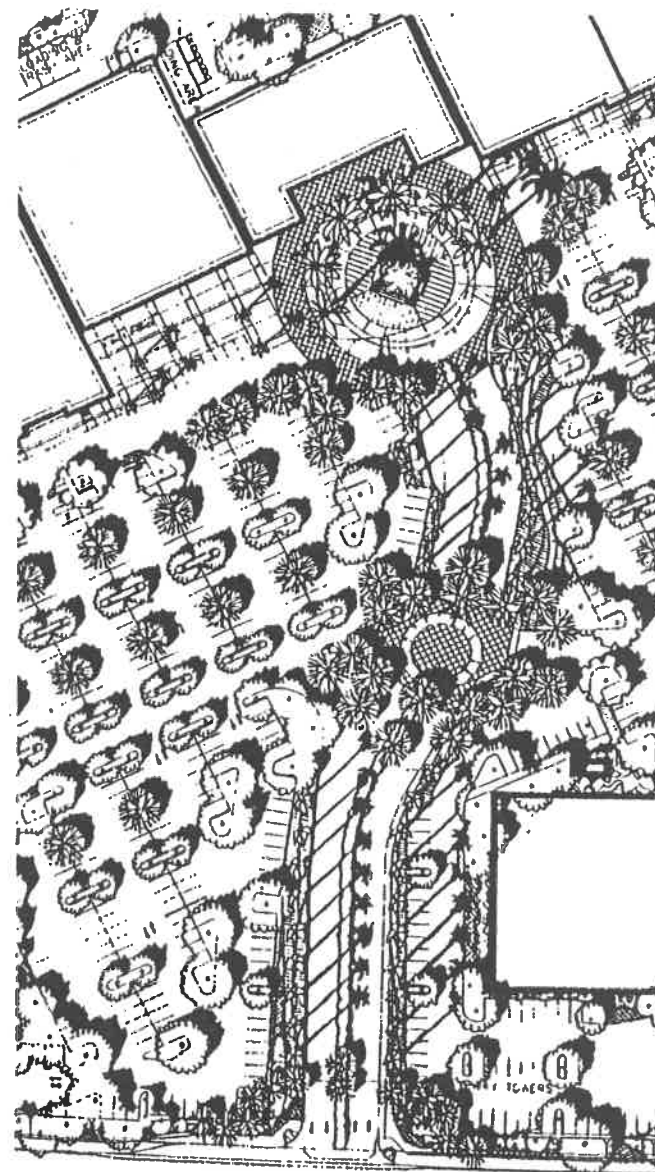
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INTRODUCTION

The intent of these Design Guidelines is to inform and assist tenants and/or building owners as well as architects and contractors with the criteria necessary for the planning, design, processing and construction of respective premise and/or buildings within the Central Coast Town Center.

Design Guidelines ensure that all buildings at the Central Coast Town Center will meet high standards of quality in both design and construction. Further, the guidelines help to integrate the project into the surrounding context of the neighborhood and comply with Arroyo Grande General Plan.

The design elements defined through text and/or illustrations in these guidelines carry an important purpose in that they provide a sense of continuity throughout the project. They establish the overall architectural style and character and serve as a catalyst for the development of individual design expression.

While the Design Guidelines make specific recommendations and provide a architectural theme for the project area, they are general in nature and not meant to replace owner's, architect's and contractor's independent research.

It is further intended that these guidelines act as a supplement to the City of Arroyo Grande regulations and applicable standards. The following is a list of reference documents for additional and supplemental information. Such listings, however, should not substitute independent research:

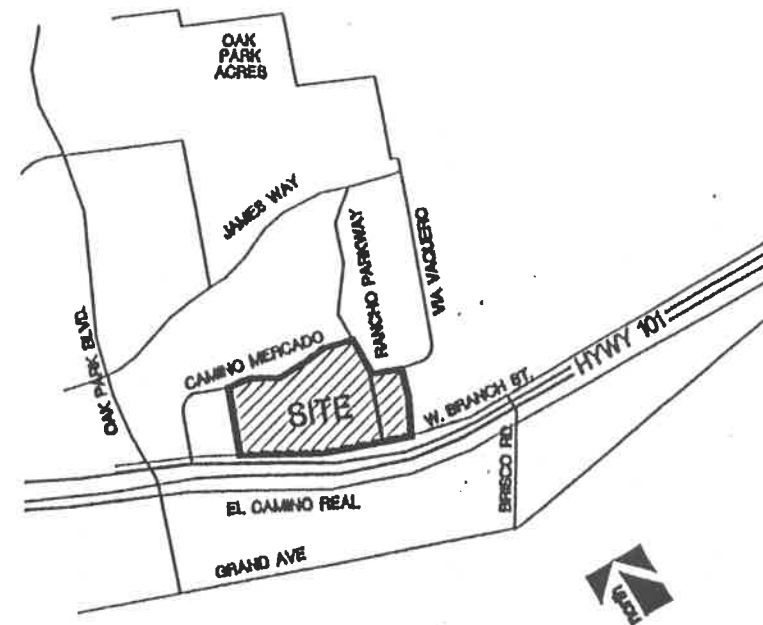
- Development Code Chapter 9-13 (Signs)
- City of Arroyo Grande General Plan
- Rancho Grande P.D. #186 C.S.
- Conditional Use Permit Case No. 96-541 (Specific Development Plan)
- Tentative Trac Map No. 2220
- PD Ordinance Case No. 96-001

PROJECT REVIEW

The Architectural Advisory Committee ("AAC") shall approve the building design including building elevations showing architectural features. The AAC shall make findings that the buildings are in conformance with the Design Guidelines. Prior to application for a building permit, the applicant shall complete and submit a planning application form for Architectural Review (with the appropriate filing fee) to the Community Development Department.

PROJECT DESCRIPTION

The architecture of the Central Coast Town Center is derived from the building forms and details found in early California architecture, which includes Traditional Mediterranean and Spanish Traditional styles.



INTRODUCTION (continued)

The building configuration creates generous pedestrian plazas and covered walkways. The building elevations are organized to focus views from the parking fields and walkways as well as from entrance drives.

Hand finished stucco with natural colors, ceramic tile with natural base, heavy timbers, clay tile roofs and heavy wrought iron combine to produce structures that evoke the intimacy and charm of this indigenous architecture style which is found throughout the California Coastal regions.

The Retail Commercial Plan encompasses approximately 356,979 square feet of development on about 47.67 acres of land. The Planning Concept places the retail buildings in a linear direction for best visibility and access from on-site and off-site locations. There will be easy access to the abundant parking areas directly in front of each building. The in-line buildings are offset to present a changing set of facades to the street, thereby creating an interesting pedestrian walkway effect from building to building.

1. SITE DEVELOPMENT STANDARDS

The "Central Coast Town Center" Concept Plan is in general agreement in spirit and intent with the Arroyo Grande General Plan. In order to ensure a functional, pleasant project, the following site planning standards have been established for the Project Area.

2. MAXIMUM BUILDING HEIGHT

Thirty-feet (30') from finish pad elevation with special architectural features up to 34 feet in specific limited locations.

3. PERIMETER SETBACKS

Incorporate variations in the setback and massing of the building bulk of large structures along major streets to provide variety and visual interest to the streetscape.

Camino Mercado	50'
Rancho Parkway	15'
Via Vaquero	50'
West Branch Street	30'

LANDSCAPE SETBACKS

As shown on approved site development plan.

To provide for adequate buffering in areas 10' or less, use one of the following items:

- 1. Grade change of 2'-0" min
- 2. Earthen berm of 2'-0" min
- 3. Short wall of 2'-0" min

4. PARKING REQUIREMENTS

As shown on approved site development plan.

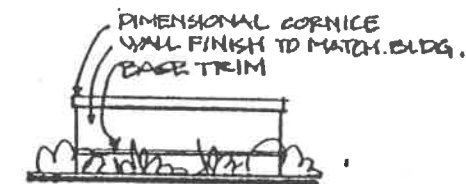
5. REFUSE COLLECTION, STORAGE, SERVICE AND LOADING AREAS

Refuse collection, storage, service and loading areas shall be appropriately screened from public view areas such as streets, primary image entry drive, main floors of image buildings and surrounding neighborhoods, etc with materials similar to the buildings and covers where overlook is possible.

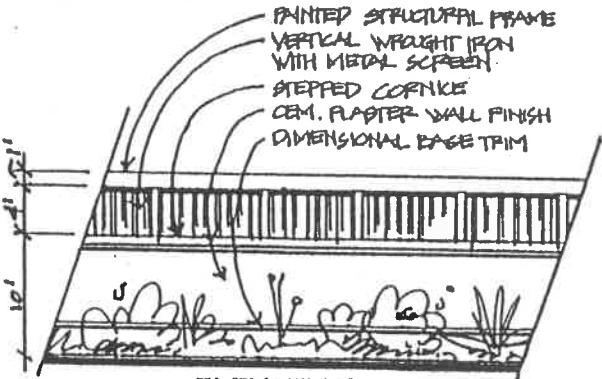
Design enclosures and screening with materials which are compatible with the project's architecture, and which do not detract from the rural small town character of the community.

Provisions for loading shall be made on each site. Loading dock areas shall be screened from view by walls, berms, planting, or a combination of these so as not to be visible from public streets and contiguous properties.

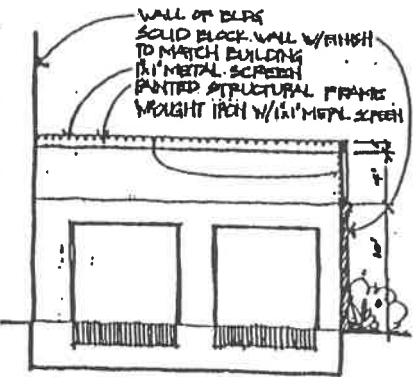
All outdoor refuse containers within the project shall be screened by designing enclosures with solid metal gates. Matching architectural details, exterior finishes and colors of enclosures shall be consistent throughout the project.



TRASH ENCLOSURE



ELEVATION



SECTION

LOADING DOCK SCREENING

6. FENCES AND WALLS

The installation of fences and walls within Commercial Areas shall be permitted for the purpose of site security, sound attenuation, grading retainment and screening of unsightly activities. Additional requirements for fences and walls are further described in Section C. Project Landscape Architecture

All fences and walls shall be designed as an integral part of the overall architecture and site design. All materials shall be durable, noncombustible and finished in textures and colors complementary of the architecture of the buildings.

Any retaining walls shall have a finish of either split face, textured stucco or decorative alternative. Decorative Alternative shall require AAC approval.

Any fence required on top of retaining wall shall be designed to be non-monolithic with either setbacks or material change.

No walls shall be constructed within areas reserved for street side landscaping (except for monument signage walls). Walls between the landscape setback area and buildings should not exceed a height of 6'-0".

7. SCREENING OF EXTERIOR MECHANICAL EQUIPMENT AND EXTERIOR ELECTRICAL EQUIPMENT

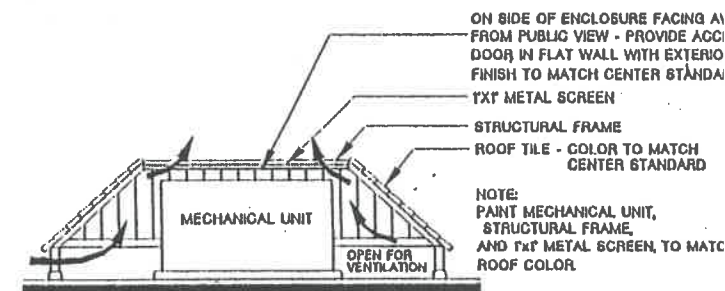
Screening shall be provided so that all exterior components of plumbing, heating, cooling and ventilation systems are not directly visible from the public view and compatible with the project's architecture. The main roofs, parapets facing the main roofs, and all roof-top mechanical equipment to be painted a neutral color so as to create a harmonious color appearance to blend the mechanical equipment into the background. The tops of mechanical equipment on roofs shall not be higher than the surrounding building parapets walls.

All roof mounted equipment shall be surrounded by a continuous mansard element sheathed in clay roof tile to match center standards. Metal screening is to cover the entire top.

Above grade transformers, detector checks, back flow preventors, etc., that may be visible from public views shall be screened with planting and/or landscaped berms or appropriate enclosures.

Electrical equipment for "Major" buildings shall be located within the buildings. The shop buildings shall be provided with smooth steel weather-proof electrical enclosures located at the rear walls and painted to match adjacent surface to blend in with surrounding walls.

Roof-mounted satellite dish antennas shall be screened from view to the maximum extent feasible. Where adequate signal access can be maintained, roof-mounted satellite dish antennas shall be located on the interior of the roof to maximize screening provided by the building parapet and roof-mounted equipment enclosures.



MECHANICAL SCREENING

PEDESTRIAN LIGHTING

All pedestrian "Plaza" areas will be lighted to a minimum safety standards utilizing decorative light fixtures compatible with the project architecture and mounted on lower poles.

BUILDING ROOF DRAINS

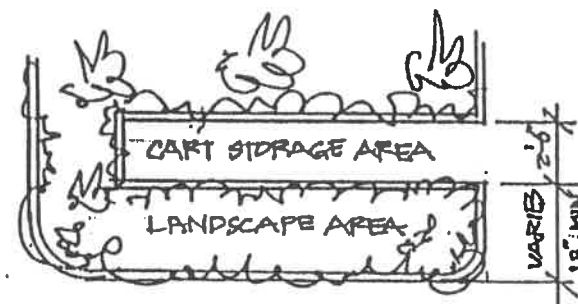
"All" building frontages shall be provided with roof drain downspouts and overflow drain leaders within the buildings and are to drain under curbs. All building rear elevations may have exterior roof drain downspout. The downspouts shall be painted to match the adjacent surface so it will blend with the surrounding walls.

SHOPPING CART STORAGE

The project site shall include storage for shopping carts. The storage areas within the parking field shall not have metal corrals. In the parking lot, shopping carts shall be contained with concrete curb aisles. Where shopping carts are stored next to a building, they should be screened with a wall or other solid screening.

BICYCLE PARKING AND ACCESS

Bicycle parking shall be accommodated in the project by means of bicycle racks in clearly defined areas and identified with signage. Bike racks shall be compatible with the style and character of the project.



**CART CORRAL IN
PARKING AREA**

1. ARCHITECTURAL STYLE AND CHARACTER:

A dominant architectural character is required to give a sense of harmony to the development. The style selected for the in-line buildings is a Spanish Traditional or Mediterranean Traditional architecture found in the buildings of early Southern California and Central Coast California. Pad buildings shall be harmonious to that dominant style and should be based upon any of the following styles: Spanish Traditional or Mediterranean Traditional. Innovative refinements of these styles may be acceptable so long as proposed buildings are architecturally harmonious with the rest of the Center and consistent with these Design Guidelines. This style shall be shown on all sides of the building. For the group of buildings on the south side of Rancho Parkway, the design theme should be small scale village, as in the Town and Country Style.

The character of the site design is integral to the architectural character and design. Outdoor pedestrian spaces, for example courtyards and arcades are important aspects of the above architectural styles and should be integrated into the architectural design particularly in areas of high pedestrian use. Building uses which support outdoor activity adjacent courtyards, for example restaurants with outdoor tables and seating are encouraged.

In general, the materials, textures, colors and architectural detailing should be consistent with Arroyo Grande's rural small town character and, consistent with applicable General Plan policies relating to the design and character of new construction.

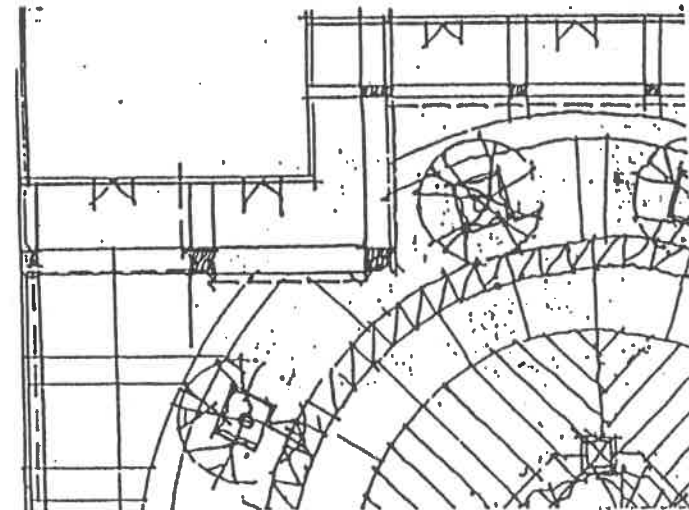
2. BUILDING MASSING:

Large building masses shall have articulated building edges to visually break-up the building mass, primarily on the building front, but also on the sides and rear where facing public streets or public areas of the Center. Methods of articulation include, for example, projecting entry elements, arcades, towers, variations in roof planes (with pitched roofs), trellises and building offsets.

Long expanses of building shall be broken up with varied roof heights where building edges are exposed to public view. No expanse of wall shall be greater than 50 feet without the use of trellis, projection or recession of the wall area, texture, etc to avoid a long blank wall.

The ends of large building masses should generally be either stepped down or have stepped down sub-elements to visually reduce the mass. An exception would be, for example, a tower element at a building corner.

Architectural detailing, variety in detailing and variations in color also help in minimizing the visual impact of large building masses. Zone wall areas into base elements, middle areas, and top areas with cornice line to reduce the scale of the building.

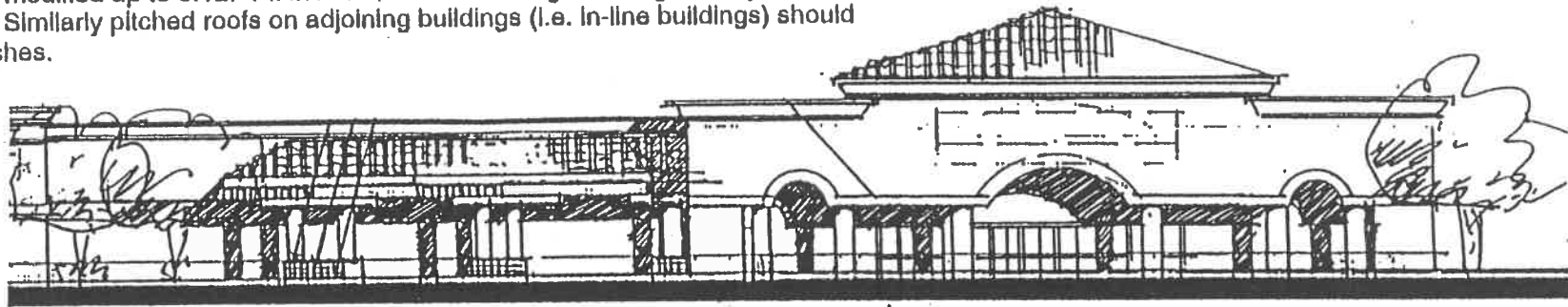


3. ROOFS:

Pitched roofs, hipped and gabled roofs, are encouraged on buildings, whether on the main building mass or on sub-elements, i.e.; entry elements, towers or arcades. On larger buildings where fully sloped roofs are not practical or appropriate pitched roofs on sub-elements are encouraged. The appearance of fully sloped roofs is, however; encouraged on larger buildings provided that the design from all viewable sides appears like fully sloped surface.

Large expanses of roof plane should be avoided by breaking roofs into smaller irregular sized areas. Barrel, clay and clay roof tiles shall be stacked and staggered to add dimension and interest. The color of the mortar shall be integrated with the color of the tile.

Pitched roofs should typically have a slope of approximately 3:12, although where architecturally appropriate may be modified up to 6:12. Pitched roofs on a building should generally maintain consistent a slope. Similarly pitched roofs on adjoining buildings (i.e. in-line buildings) should maintain similar pitches.

4. STOREFRONT/WINDOWS:

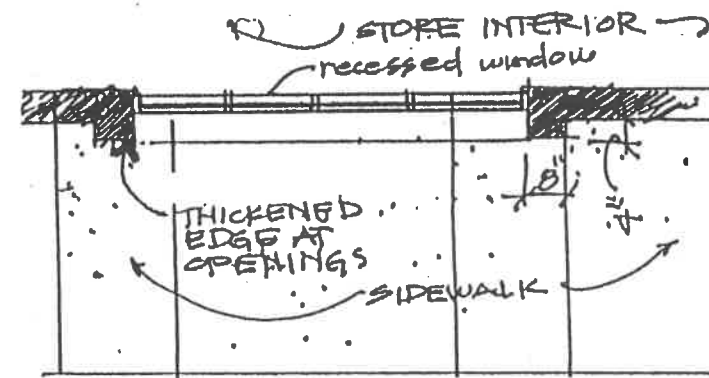
They shall have thick walls with recessed doors and windows, which are typical element of Traditional and Mediterranean Traditional Spanish architecture, and the appearance of this walls is encouraged.

Arcades, or other shading devices, are encouraged along storefront areas, to provide window shading, offer protection from the sun and rain for pedestrian and visually enhance buildings by providing depth to building edges and adding visual detail to buildings.

Clear glass is encouraged in windows and storefront; dark tinted or mirrored glass is not permitted. Store front window frames shall be dark bronze color with windows recessed.

Operable windows and multi-pane windows are encouraged where architecturally appropriate, particularly in smaller retail or restaurant buildings.

TYPICAL FRONT ELEVATION



WINDOW TREATMENT

5. COLORS AND MATERIALS:

Natural building materials such as natural colored stucco, terra-cotta, natural stone, clay based, dark based tile and rustic appearance heavy wooden timbers are appropriate materials for the Center. Split face concrete, concrete block, precast concrete trim, brick and metal work may be appropriate in some areas provided the design, texture, colors and accents are congruous with the Center.

Concrete flatwork to have trowel joints at a minimum 10'-0" o.c. spacing with alternate directions of broom finish. Stucco texture to be mission style stucco finish (skip trowelled, cornice finish to be smooth trowelled).

White off-white earth tone colors are appropriate for building walls. As the in-line buildings will be a Traditional Spanish or Mediterranean Traditional style, white or off-white should be the dominant color of all in-line buildings. Earth tone colors must be used at the base of in-line buildings.

Colors of accent tiles may be varied and naturally colored appropriate to the building style.

Pitched roofs should have clay tiles in terra cotta or reddish brown colors, preferably variegated and variegated with a 25% mix of the following colors: Deleo Tile Buff, Peach, Rose and Spanish Red.

Fabric awnings with accent colors, may be used where they are architecturally compatible as approved by the AAC. They are generally not recommended for the in-line buildings as this is not a characteristic of Traditional Spanish or Mediterranean Traditional architecture.

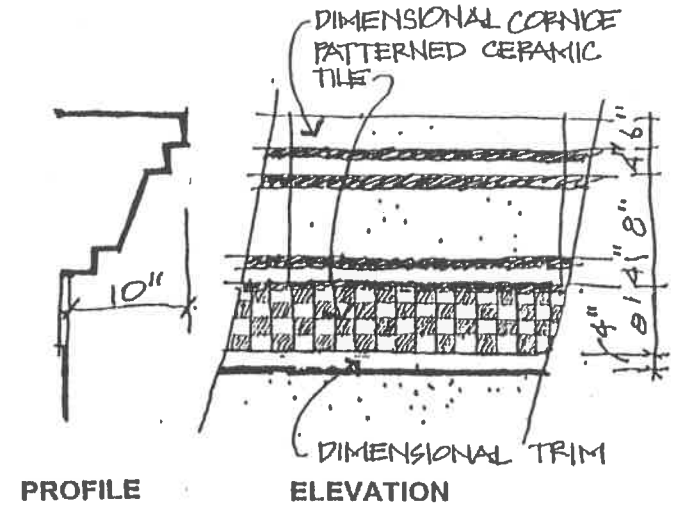
6. ARCHITECTURAL ELEMENTS AND DETAILS

Decorative accents, (for example wall tile insets, railings, grills, trellises and cast concrete/stone trim) are encouraged to provide building detail.

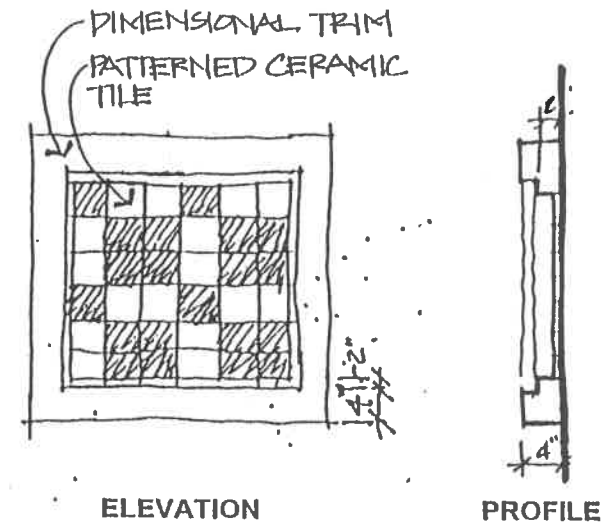
Decorative cornices (for example, based upon Spanish or Mediterranean Traditional architecture styles), should be provided where appropriate to the building style.

Higher levels of building detail should be provided in pedestrian areas, particularly at building entries and at courtyards and arcades.

All roof appurtenances including, but not limited to air conditioning units and mechanical equipment and satellites and solar panels, shall be architecturally screened from ground level



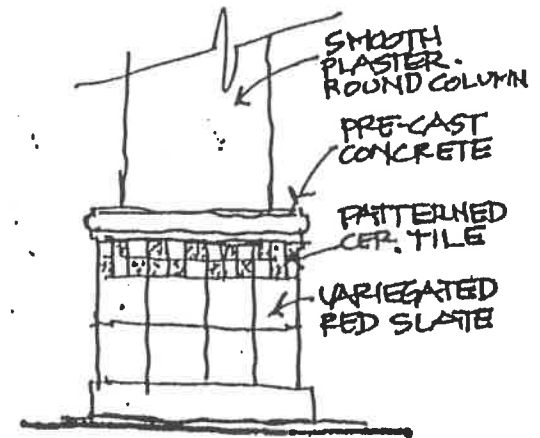
CORNICE DETAIL

TILE ACCENT
MEDALLION WINDOWS

views from on-site parking areas, adjacent public streets and contiguous properties with metal screens and tile manstard roof structures. Roof appurtenances, for example mechanical equipment, should be painted to match the adjacent roof surface which is brown or tan in color.

All flashing, sheet metal, vent stacks and pipes shall be painted to match the adjacent building surface.

If gutters and downspouts are exposed they shall be designed as architectural features of the building. If they are located on the front facade, they should be concealed with drains placed under curbs/sidewalks.



COLUMN BASE DETAIL

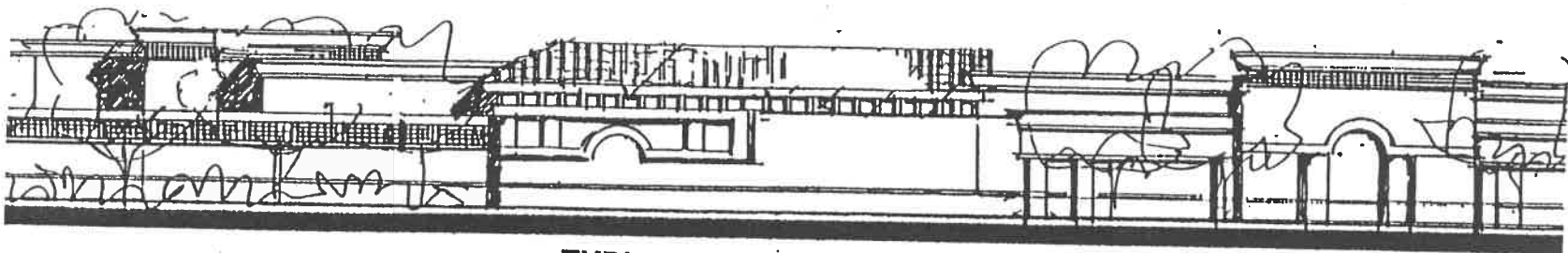
7. BUILDING REAR TREATMENTS

Variation of color consistent with front facades should carry around to organize colored zones at rear of buildings.

Decorative cornice elements should match building front facades and should be appropriate in scale and depth.

Where rear of building directly fronts onto adjacent public street or drive, tile accent medallions and three dimensional treatments like pilasters/columns and projected arches are encouraged.

Continuation of corner tower elements or front/side facade elements at the immediate corners of building are encouraged to more fully complete the architectural treatment of the building. Continue water line/bulkhead markings and colors around to rear of building.



TYPICAL REAR ELEVATION

8. SIGN PROGRAM

Refer to city approved planned sign program.

PROJECT LANDSCAPE ARCHITECTURE

This section will point out specific situations and will suggest ways of addressing project level landscape design enhancements.

- All improved building sites shall have minimum landscape area of fifteen percent (15%), which does not include grass. Landscaping shall consist of an effective combination of street trees, ground cover, shrubbery, and shall be provided with an automatic irrigation system.
- In addition landscape design for "Central Coast Town Center", will consider ground cover, plazas, walkways, paths and parking areas. What follows is a listing of the main design elements present in "Central coast Town Center" and the suggested treatments.

ENTRY LANDSCAPING AND DRIVES

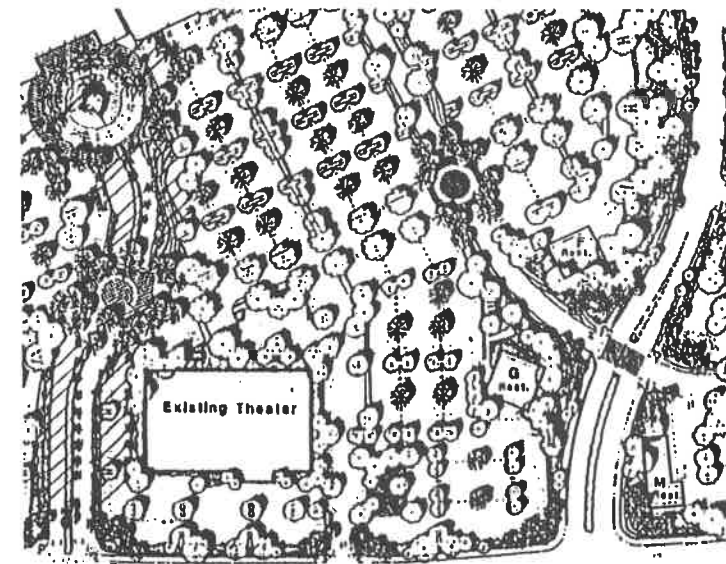
The major entry access points and drives to "Central Coast Town Center" will be marked by special planting (refer to Project Entries). The entry drive shall (1) receive special treatment in the form of integral colored paving, lighting, and colorful seasonal plantings with colorful background plantings. To further define the main entry and drive, palm trees shall be placed at the entry. This palm tree planting will clearly define the entry points of the site and specialty trees will define the auto circulation. The varieties of palm trees should include ones that do not grow taller than 34 feet and that have a large trunk.

2. MAJOR CIRCULATION DRIVES AND PARKING AREAS

Textured and colored paving shall define pedestrian crosswalks and are encouraged to be designed on adjacent city streets and at major circulation drives(2). A central east/west "spine" will feature specialty trees to further define the circulation system and create smaller parking zone "clusters".

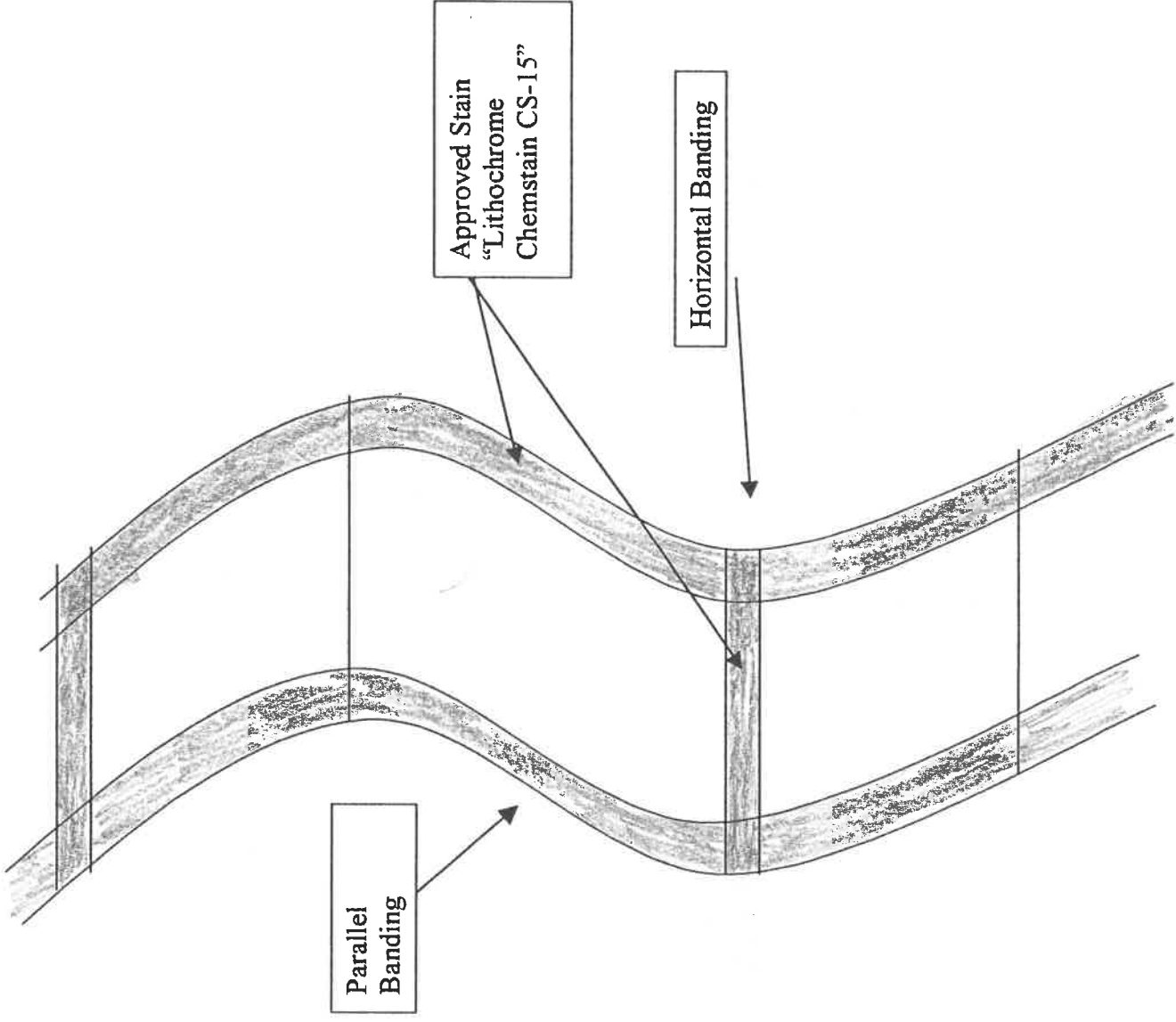
Parking lot shall be planted with two treatments using different tree types. The first treatment will utilize trees in parking areas generally adjacent to project boundary streets. These trees will be evergreen, canopy, shade-producing trees. The second treatment will utilize smaller flowering tree standards, planted generally in parking areas adjacent to the buildings. These will add color and pedestrian scale to the parking area (3).

Parking areas will be treated to minimize the visual effect from adjacent access aisles. Plant materials used for screening will consist of linear or grouped masses of shrubs and/or trees of sufficient size and height to meet this requirement.



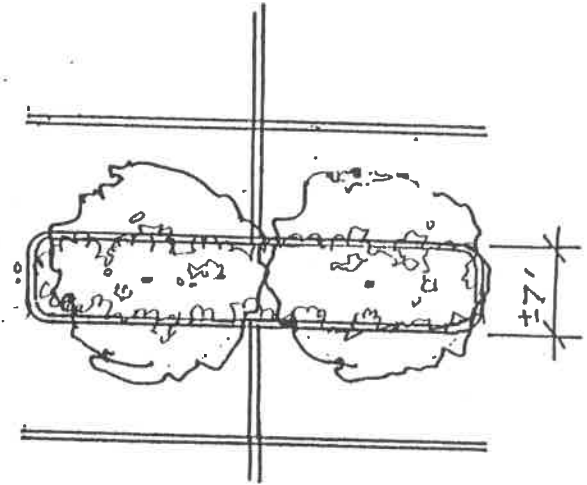
WEST BRANCH WAY

Approved Alternative Sidewalk Texturing Pattern – 5 Cities Center
AAC Approval 12/15/98



- **Parking Lot Landscape Requirements:**

- Within the parking field a minimum of one 15-gallon tree is required for each five (5) parking spaces to be placed immediately adjacent to the stalls. See "D" below for size variety provision.
- Planter areas within paved parking areas shall provide a minimum four-foot clear planting space. Landscape "fingers" are required in all parking lots consistent with the City's Development code.
- A single species tree/shrub combination is to be used for each parking sub-area. Hedges shall be maintained no higher than 30" within and drive areas.
- There shall be a variety of tree sizes for each species including 24 inch and five gallon trees.
- The tree type specified along the north side of Rancho Parkway should not significantly obstruct views of adjacent residences when trees are fully grown.



TYPICAL LANDSCAPE FINGER

3. PLAZAS, COURTS, ARCADES AND WALKWAYS

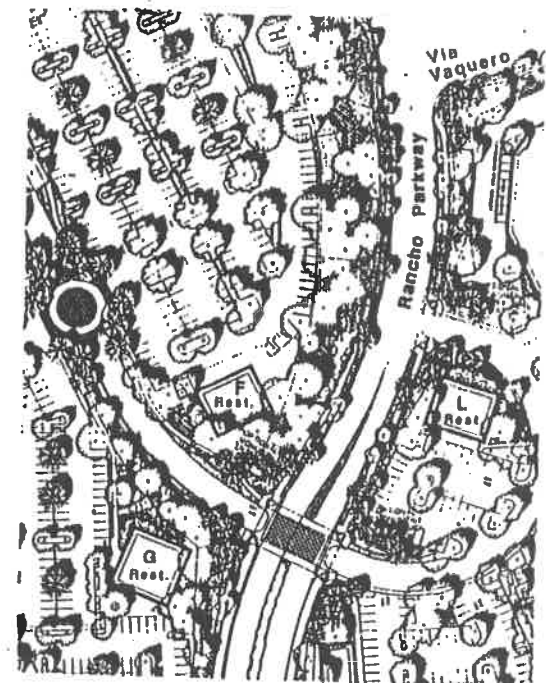
Pedestrian plazas, walkways and other hardscape areas shall be designed to complement the architectural theme and create a strong visual image. Special paving shall be designed using concrete pavers or fields of stamped colored concrete separated by paving bands. Site furniture shall be used, such as benches, waste receptacles, planted pots, and lighting fixtures to be consistent with the project and architectural theme. Pedestrian walks connecting free standing buildings to major and main line buildings shall be enhanced stamped concrete.

Planting shall be installed in planters and located in areas which help define pedestrian circulation, create shaded areas for seating, and enhance the appearance of the buildings. Planted trellises and plant pots shall be placed in the public circulation areas.

Consideration should be given to plants in elevated planter boxes that are of a cascading variety. For plants along blank walls, consideration should be given to climbing varieties.

4. SLOPE BANKS AND PARCEL EDGES

Graded slopes, specially adjacent to parcel edges, shall utilize a consistent planting scheme to control soil erosion and potential fire problems. Generally, all graded slopes shall receive planting consisting of a variety of drought tolerant species. These plants shall be planted from a combination of container and seed mixtures. Plant species shall be selected to ensure a well balanced growth pattern which aids in soil stabilization.



A landscape buffer consisting of a combination of trees, midsize shrubs and groundcovers shall be planted at the retail rear slope adjacent to residential areas as shown on the following section, slope planting will help mitigate the view impact into the retail service areas.

All landscaping shall be maintained and replaced as necessary in accordance with the requirements of the Municipal Code for the City of Arroyo Grande.

