

RESOLUTION NO. 19-2317

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARROYO GRANDE APPROVING AN ADDENDUM TO THE CREEKSIDE CENTER ENVIRONMENTAL IMPACT REPORT AND PLANNED UNIT DEVELOPMENT CASE NO. 18-001; APPLICANT – DB&M PROPERTIES, LLC; LOCATION – 415 EAST BRANCH STREET (THE CREEKSIDE PROJECT)

WHEREAS, the City Council approved Vesting Tentative Tract Map No. 04-004 and Planned Unit Development No. 04-001 on September 25, 2007, on appeal, to reconfigure twenty-three (23) existing parcels into nineteen (19) parcels and to construct a commercial retail, office and residential development; and

WHEREAS, through previous State and City extensions, the Creekside Project remains an active entitlement; and

WHEREAS, the applicant has submitted an application to amend the Planned Unit Development for Phase 3 of the Creekside Center project to add eight (8) additional residential units to the project, changing the housing format from detached, individually owned units to four (4) for rent quadplex units; and

WHEREAS, the Architectural Review Committee considered the project on December 19, 2018 and recommended approval of the project as proposed; and

WHEREAS, the Planning Commission has reviewed the project in compliance with the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and the Arroyo Grande Rules and Procedures for Implementation of CEQA; and

WHEREAS, the Planning Commission has reviewed the addendum to the Final Environmental Impact Report and agrees with the addendum's conclusions that the proposed project is consistent with the environmental impacts studied and presented in the Final Environmental Impact Report; and

WHEREAS, the Planning Commission has reviewed the project at a duly noticed public hearing on February 19, 2019; and

WHEREAS, the Planning Commission finds, after due study, deliberation, and public hearing, that the following circumstances exist:

Planned Unit Development Permit Findings:

1. The proposed development is consistent with the goals, objectives, and programs of the general plan and any applicable specific plan.

The revision to Phase 3 of the previously approved Creekside Center Mixed Use Project to allow an increase in the number of residential units from eight (8) to sixteen (16) is consistent with Objective LU6 and Policies LU6-1, LU6-5, LU6-7, LU12-5, CT4-1, A.1, and A.5 of the Land Use, Circulation, and Housing Elements

of the Arroyo Grande General Plan, respectively.

2. The site for the proposed development is adequate in size and shape to accommodate said use and all yards, open spaces, setbacks, walls and fences, parking areas, landscaping, and other features required by the Development Code.

Phase 3 of the previously approved Creekside Center Mixed Use Project is of sufficient size and shape to accommodate the increase in the number of residential units from eight (8) to sixteen (16) and through reciprocal parking and access agreements will accommodate additional parking, landscaping, and access required by the Arroyo Grande Development Code.

3. The site for the proposed development has adequate access, meaning that the site design and development plan conditions consider the limitations of existing streets and highways.

Phase 3 of the previously approved Creekside Center Mixed Use will utilize the previously approved points of ingress and egress, including the primary ingress to Phase 3 from Le Point Street and ingress and egress to Crown Hill Street. The site also has adequate access for emergency response as recommended by the Staff Advisory Committee.

4. Adequate public services exist, or will be provided in accordance with the conditions of the development plan approval, to serve the proposed development; and that the approval of the proposed development will not result in a reduction of public services to properties in the vicinity so as to be a detriment to public health, safety, and welfare.

The provisions for public services, including water, sanitation, and public utilities were evaluated through the Environmental Impact Report prepared for the entire Creekside Center Project and it was determined that adequate public services will be available. This determination was maintained through the Addendum to the Environmental Impact Report prepared for the proposed project.

5. The proposed development, as conditioned, will not have a substantial adverse effect on surrounding property, or the permitted use thereof, and will be compatible with the existing multiple-family and single-family residential uses in the surrounding area.

The revision to Phase 3 of the Creekside Center Project will convert some of the approved single family residences into multi-family residences at a density acceptable for the entire project site and will not have substantial adverse effects on surrounding properties.

6. The improvements required, and the manner of development, adequately address

RESOLUTION NO. 19-2317
PAGE 3

all natural and man-made hazards associated with the proposed development of the project site, including, but not limited to, flood, seismic, fire and slope hazards.

The project and all private and public improvements have been designed and conditioned to be constructed in a manner that will adequately address all natural and man-made hazards associated with the proposed development of the project site.

7. The proposed development carries out the intent of the Planned Unit Development Provisions by providing a more efficient use of the land and an excellence of design greater than that which could be achieved through the application of conventional development standards.

The revision to Phase 3 of the previously approved Creekside Center Mixed Use Project to allow an increase in the number of residential units from eight (8) to sixteen (16) in an attached, multi-family configuration allows the overall site density to be accommodated more efficiently than would have been achievable through conventional development standards.

8. The proposed development complies with all applicable performance standards listed in Development Code Section 16.32.050.

The revision to Phase 3 of the previously approved Creekside Center Mixed Use Project, and designed and conditioned, complies with all applicable standards of the Arroyo Grande Development Code.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Arroyo Grande hereby approves the Addendum to the Creekside Mixed-Use Center Environmental Impact Report (SCH No. 2001091085) as set forth in Exhibit "B", attached hereto and incorporated herein by this reference and approves Amended Planned Unit Development 18-001 as set forth in Exhibit "C", attached hereto and incorporated herein by this reference, with the above findings and subject to the conditions as set forth in Exhibit "A", attached hereto and incorporated herein by this reference.

On motion of Commissioner Martin, seconded by Commissioner Sage, and by the following roll call vote, to wit:

AYES: Martin, Sage, Maraviglia
NOES: Montes
ABSENT: Schiro

the foregoing Resolution was adopted this 19th day of February, 2019.

RESOLUTION NO. 19-2317
PAGE 4



GLENN MARTIN, CHAIR

ATTEST:

PATRICK HOLUB
SECRETARY TO THE COMMISSION

APPROVED AS TO CONTENT:

TERESA MCCLISH
COMMUNITY DEVELOPMENT DIRECTOR

EXHIBIT "A"
CONDITIONS OF APPROVAL
AMENDED PLANNED UNIT DEVELOPMENT 18-001
(FORMERLY PLANNED UNIT DEVELOPMENT NO. 04-001)
APPLICANT – DB & M PROPERTIES, LLC; LOCATION – 415 EAST BRANCH
STREET

COMMUNITY DEVELOPMENT DEPARTMENT

GENERAL CONDITIONS

This approval authorizes a modification to project phasing and density for for Vesting Tentative Tract Map No. 04-004 and Planned Unit Development No. 04-001 to construct a commercial retail, office and residential development. The project is approved to be phased as follows: Phase I – the former Brown property containing the warehouse and two residences; Phases II and III – development of the residential areas; and Phase IV – development of the commercial area, all as shown on Exhibit "B" attached hereto and incorporated herein. **Conditions that do not indicate a specific phase apply to all four phases. Conditions not applicable to Phase I are based on the assumption that there is no proposed change of use to existing structures. Conditions pertaining to Public Improvements may be phased, if feasible to the satisfaction of the City Engineer.**

1. The applicant shall ascertain and comply with all Federal, State, County and City requirements as are applicable to this project.
2. The applicant shall comply with all conditions of approval for Vesting Tentative Tract Map 04-004 and Planned Unit Development 04-001.
3. Vesting Tentative Tract Map No. 04-004 and Amended Planned Unit Development No. 18-001 shall automatically expire on February 19, 2021 unless the final map for all four phases is recorded. The final map is no longer eligible for time extensions due to previous extensions given to the map.
4. Development shall occur in substantial conformance with the plans presented to the Planning Commission at the meeting of February 19, 2019 and marked Exhibit "B", attached hereto, except as modified by these conditions of approval.
5. The applicant shall, as a condition of approval of this tentative map application, defend, indemnify and hold harmless the City of Arroyo Grande, its present or former agents, officers and employees from any claim, action, or proceeding against the City, its past or present agents, officers, or employees to attack, set aside, void, or annul City's approval of this subdivision, which action is brought within the time period provided for by law. This condition is subject to the provisions of Government Code Section 66474.9, which are incorporated by reference herein as though set forth in full.

RESOLUTION NO. 19-2317
PAGE 6

6. The **PUBLIC IMPROVEMENTS** for Le Point & Crown Terrace; to include curb, gutter, sidewalk, and retaining walls, shall be completed prior to the start of internal building construction.
7. All plan sets, Architectural and Engineering, to be submitted together.

SPECIAL CONDITIONS

8. **PUBLIC IMPROVEMENTS:** The two (2) Coast Live Oak trees and the Canary Island Date Palm shall be transplanted to a suitable location on or off-site, as recommended by the arborist report prepared by Carolyn Leach dated September 1, 2006.
9. **PHASE IV:** Consistent with MM 4.3.30, an open space agreement and twenty-five foot (25') creek easement measured from top of bank shall be recorded on the property. No development shall occur within 25' creek setback area. A trail easement shall also be recorded within the creek setback area. A homeowners association shall be responsible for maintaining the creek easement area.
10. **PHASES III & IV:** The applicant shall provide two (2) on-site affordably restricted housing units to be sold to moderate-income qualified families. **Prior to recording the final map** the applicant shall enter into an agreement, in a form approved by the City Attorney, whereby the applicant agrees on behalf of itself and its successors in interest to maintain the affordability of the units for thirty (30) years or longer, as well as other terms and conditions determined to be necessary to implement this condition.
11. **AFTER ALL PHASES ARE COMPLETED:** There shall be a "look back" provision to determine whether a gate is necessary between the commercial and residential uses two (2) years after the project has been constructed. The applicant shall install a gate at its expense.
12. **PHASES III & IV:** Storage cabinets within the garages shall be elevated to reduce the risk of damage during a flood event, as determined by a flood study.

NOISE

13. Construction activities shall be restricted to the hours of 7:00 AM to 5:00 PM Monday through Friday. There shall be no construction activities on Saturday or Sunday.

DEVELOPMENT CODE

14. Development shall conform to the Village Mixed Use (VMU) zoning requirements except as otherwise approved.
15. All fences and/or walls shall not exceed six feet (6') in height unless otherwise

approved with a Minor Exception or Variance application.

16. The developer shall comply with Development Code Chapter 16.20, "Land Divisions".
17. The developer shall comply with Development Code Chapter 16.64, "Dedications, Fees and Reservations."

PRIOR TO ISSUANCE OF GRADING PERMIT

18. All walls, including screening and retaining walls, shall be compatible with the approved architecture and Development Code Standards, and shall be no more than 3 feet in height in the front setback area, subject to the review and approval of the Community Development Director.

PRIOR TO ISSUANCE OF A BUILDING PERMIT

19. **PUBLIC IMPROVEMENTS:** The Architectural Review Committee (ARC) shall review and approve the final Crown Terrace guardrail/handrail design placed on top of required retaining walls and historic markers.
20. **PHASES II-IV:** The ARC shall review and approve the final architectural drawings, including exterior building colors and materials, final landscape plan with historic railroad elements.
21. **PHASES II-IV:** The applicant shall obtain approval for a Planned Sign Program consistent with the Development Code and the Design Guidelines and Standards for Historic Districts.

PRIOR TO RECORDING THE FINAL MAP

22. **PHASES II-IV:** A landscaping and irrigation plan shall be prepared by a licensed landscape architect subject to review and approval by the Community Development and Public Works Departments. The landscaping plan shall include the following for all public street frontages and common landscaped areas:
 - a. Tree staking, soil preparation and planting detail;
 - b. The use of landscaping to screen ground-mounted utility and mechanical equipment;
 - c. The required landscaping and improvements. This includes:
 - (1) Deep root planters shall be included in areas where trees are within five feet (5') of asphalt or concrete surfaces and curbs;
 - (2) Water conservation practices including the use of low flow heads, drip irrigation, mulch, gravel, drought tolerant plants and mulches shall be incorporated into the landscaping plan; and
 - (3) All slopes 2:1 or greater shall have jute mesh, nylon mesh or equivalent material.
 - (4) An automated irrigation system.

PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

23. All fencing shall be installed.
24. The applicant shall submit final Covenants, Conditions and Restrictions (CC&Rs) that are administered by a subdivision homeowners' association and formed by the applicant for common areas within the subdivision. The CC&Rs shall be reviewed and approved by the City Attorney and recorded with the final map.

PUBLIC WORKS DEPARTMENT CONDITIONS

25. **PUBLIC IMPROVEMENTS:** The existing Cypress trees along Crown Terrace shall be removed in the northeast corner of the site. The other Cypress trees shall be thinned or removed, as determined to be necessary by an arborist study.
26. The applicant shall comply with the provisions of Ordinance 521 C.S., the Community Tree Ordinance.
27. Linear root barriers shall be used throughout the project to protect all sidewalks.
28. **PHASES II-IV:** All street front trees shall be 24-inch box and shall be located a minimum of one (1) tree for every fifty feet (50') of street frontage. The ARC shall review and approve the final landscape plan.
29. **PHASES II-IV:** The applicant shall comply with the latest edition of the California Green Building Code.

BUILDING AND FIRE DEPARTMENT CONDITIONS

30. **PHASES II-IV:** The project shall comply with the most recent editions of the California State Fire and Building Codes and the Uniform Building and Fire Codes as adopted by the City of Arroyo Grande.
31. **PHASES II-IV:** The project shall comply with State and Federal disabled access requirements at public areas.
32. **PHASES II-IV: Prior to map recordation,** the applicant shall show all setback areas for each lot on the tentative tract map.

FIRE LANES

33. **PHASES II-IV: Prior to issuance of a certificate of occupancy,** all fire lanes must be posted and enforced, per Police Department and Fire Department guidelines.

FIRE FLOW/FIRE HYDRANTS

34. **PHASES II-IV:** Project shall have a fire flow in accordance with the California Fire Code.
35. **PHASES II-IV: Prior to bringing combustibles on site,** fire hydrants shall be installed, and be operational per Fire Department and Public Works Department standards. Add an additional hydrant in the dead end street portion on the west side of lots 6 & 7.
36. **PHASES II-IV: Prior to occupancy,** the applicant must provide an approved "security key box", per Building and Fire Department guidelines and per the California Fire Code.

FIRE SPRINKLER

37. **PHASES II-IV: Prior to occupancy,** all buildings must be fully sprinklered per Building and Fire Department guidelines and per the California Fire Code.
38. **PHASES II-IV: Prior to issuance of a grading permit or building permit,** whichever occurs first, the applicant shall show proof of properly abandoning all non-conforming items such as septic tanks, wells, underground piping and other undesirable conditions.

OTHER APPROVALS

39. **PHASES II-IV: Prior to issuance of a building permit,** County Health Department approval is required for well abandonment if applicable.
40. **PHASES II-IV:** Project must comply with Federal and local flood management policies. Prior to approval of PHASE III, the applicant must provide FEMA no rise certification.
41. **PHASES II-IV:** Any review costs generated by outside consultants, shall be paid by the applicant.

SPECIAL CONDITION(S)

42. **PHASES II-IV:** The applicant shall provide entrance directories, with addresses for Fire & Emergency responders, including private street names.

ENGINEERING DIVISION CONDITIONS

All Engineering Division conditions of approval as listed below are to be complied with prior to recording the map or finalizing the permit, unless specifically noted otherwise.

43. **Fees** - The applicant shall pay all applicable City fees at the time they are due. *(For your information, the "Procedure for Protesting Fees, Dedications, Reservations or Exactions" is provided below).*
44. Fees to be paid prior to plan approval:
- a. Map check fee.
 - b. Plan check for grading plans based on an approved earthwork estimate.
 - c. Plan check for improvement plans based on an approved construction cost estimate.
 - d. Permit Fee for grading plans based on an approved earthwork estimate.
 - e. Inspection fee of subdivision or public works construction plans based on an approved construction cost estimate.

PROCEDURE FOR PROTESTING FEES, DEDICATIONS, RESERVATIONS OR EXACTIONS:

(A) Any party may protest the imposition of any fees, dedications, reservations, or other exactions imposed on a development project, for the purpose of defraying all or a portion of the cost of public facilities related to the development project by meeting both of the following requirements:

- (1) Tendering any required payment in full or providing satisfactory evidence of arrangements to pay the fee when due or ensure performance of the conditions necessary to meet the requirements of the imposition.
- (2) Serving written notice on the City Council, which notice shall contain all of the following information:
 - (a) A statement that the required payment is tendered or will be tendered when due, or that any conditions which have been imposed are provided for or satisfied, under protest.
 - (b) A statement informing the City Council of the factual elements of the dispute and the legal theory forming the basis for the protest.

(B) A protest filed pursuant to subdivision (A) shall be filed at the time of the approval or conditional approval of the development or within 90 days after the date of the imposition of the fees, dedications, reservations, or other exactions to be imposed on a development project.

(C) Any party who files a protest pursuant to subdivision (A) may file an action to attack, review, set aside, void, or annul the imposition of the fees, dedications, reservations, or other exactions imposed on a development project by a local agency within 180 days after the delivery of the notice:

(D) Approval or conditional approval of a development occurs, for the purposes of this section, when the tentative map, tentative parcel map, or parcel map is approved

or conditionally approved or when the parcel map is recorded if a tentative map or tentative parcel map is not required.

- (E) The imposition of fees, dedications, reservations, or other exactions occurs, for the purposes of this section, when they are imposed or levied on a specific development.

SPECIAL CONDITIONS

45. **PUBLIC IMPROVEMENTS:** Underground all existing overhead utilities, more specifically the following poles and associated overhead lines, shown graphically in Exhibit A:
- a. Pole 2197, near the dead end of Le Point Street.
 - b. Pole 440, at the corner of Le Point and Crown Terrace.
 - c. Pole 524, at the corner of Crown Hill and Crown Terrace.
 - d. Pole 139, along Crown Terrace.
 - e. Unknown Pole Number, along Crown Terrace.
46. **PUBLIC IMPROVEMENTS:** Construct Le Point Street adjacent to the northern project boundary to the following design standards:
- 20 feet street width from curb to centerline of street from the project side.
 - 6 feet wide concrete sidewalks on the project side with concrete curb and gutter.
 - 25 mile per hour design speed.
 - TI of 6.5.
47. **PUBLIC IMPROVEMENTS:** Construct Crown Terrace adjacent to the eastern project boundary to the following design standards:
- 12 feet street width from curb to centerline of the street from the project side.
 - 6 feet wide concrete sidewalks with concrete curb and gutter on the west side of the street.
 - "No Parking" on both sides of the street.
 - 25 mile per hour design speed.
 - TI of 6.5.
 - Complete submittal of plans will include plans for retaining wall adjacent to Crown Terrace, designed by a registered Civil or Structural Engineer.
48. **PUBLIC IMPROVEMENTS:** Remove and replace any broken curb, gutter and sidewalk along Crown Hill and East Branch Street.
49. **PUBLIC IMPROVEMENTS:** Install a pedestrian ramp at the corner of Crown Hill and East Branch Street.
50. **PUBLIC IMPROVEMENTS:** Overlay Crown Terrace with 1 ½" asphalt concrete.

Grind the perimeter of the overlay as a wedge 2' tall by 5' wide to facilitate matching to existing grades.

51. **PUBLIC IMPROVEMENTS:** Complete half of the cross gutter and spandrel at the northwest corner of Le Point Street and Crown Terrace.
52. **PUBLIC IMPROVEMENTS:** Analyze the intersection of Crown Terrace and Le Point Street for traffic control improvements and install an all-way stop, and any other improvements as are deemed necessary by the Community Development Director. Sidewalk and ADA improvements shall be installed as necessary.
53. **PUBLIC IMPROVEMENTS:** The applicant shall make all necessary welded connections to the steel sanitary sewer main and slip line the main and welded stub laterals
54. **PUBLIC IMPROVEMENTS:** Upgrade the storm drain system along Le Point Street to City Standards, complete with fossil filters.
55. **PUBLIC IMPROVEMENTS:** Remove and replace the drop inlet along the property frontage of Crown Hill with a new City standard drop inlet.
56. **PHASE III:** Extend an 8" main through the site to connect to the main underneath Le Point Street and Crown Hill.
57. **PHASES I & II:** Install decorative streetlights along Crown Hill to match existing light standards in the Village along East Branch Street. The minimum lighting required by the Police Department shall be used. Streetlights along Crown Terrace and Le Point Street shall be shielded to direct light downwards, and shall be shorter than standard streetlights. The ARC shall review and approve the final lighting plan.
58. Parking for existing businesses on the site shall not be blocked during construction.
59. **PHASES II-IV:** Dust shall be controlled on site during construction.
60. **PHASE IV:** The pedestrian path adjacent to the creek shall be made of 4" thick decomposed granite (dg) with a minimum of 6" redwood header.
61. Distinctive marking, such as stamped concrete, shall be used to indicate a pedestrian path across the parking area linking the pedestrian path adjacent to the creek to East Branch Street. For **PHASE I**, a pedestrian easement shall be shown on the final map between lots 17 and 18 from the parking area to East Branch Street.
62. **PHASES II-IV:** A bike rack containing six (6) bicycle spaces shall be installed in both the residential and commercial components of the project for a total of twelve (12) bicycle spaces (three spaces per phase).

- 63. **PHASES III & IV:** The residential portion of the project shall have primary access from Le Point Street.
- 64. **PHASES II-IV:** Project site drainage shall drain directly to the creek. Site drainage shall be filtered prior to entering the creek. Energy dissipation shall be provided for at the creek outfall. Bioswales shall be used where appropriate, as approved by the California Department of Fish and Game and the U.S. Army Corps of Engineers. Discharge to the creek shall be in the direction of flow.

GENERAL CONDITIONS

- 65. **PHASES II-IV:** Clean all streets, curbs, gutters and sidewalks at the end of the day's operations or as directed by the Director of Community Development or the Director of Public Works.
- 66. **PHASES II-IV:** Perform construction activities requiring City inspection during normal business hours (Monday through Friday, 7 A.M. to 5 P.M. excluding City holidays) for inspection purposes.
- 67. Prior to placing the final map on the City Council Agenda, the following items shall be submitted and approved:
 - a. Final map signed.
 - b. **PHASES II-IV:** Improvement Securities.
 - c. Fees paid.
 - d. **PHASES II-IV:** Inspection agreement signed.
 - e. Subdivision improvement agreement signed.
 - f. Tax certificate.
 - g. Project CC&Rs or maintenance agreements.

IMPROVEMENT PLANS

- 68. **PUBLIC IMPROVEMENTS:** All public improvements shall be completed prior to the other phasing of the project.
- 69. **PHASES II-IV:** All project improvements shall be designed and constructed in accordance with the City of Arroyo Grande Standard Drawings and Specifications.
- 70. **PHASES II-IV:** Submit four (4) full-size paper copies and one (1) full-size mylar copy of approved improvement plans for inspection purposes during construction.
- 71. **PHASES II-IV:** Submit as-built plans at the completion of the project or improvements as directed by the Community Development Director. One (1) set of mylar prints and an electronic version on CD in AutoCAD format shall be required.
- 72. **PHASES II-IV:** The following Improvement plans shall be prepared by a registered Civil Engineer and approved by the Engineering Division:

- a. Grading, drainage and erosion control.
- b. Street paving, curb, gutter and sidewalk.
- c. Public utilities.
- d. Water and sewer.
- e. Landscaping and irrigation.
- f. Any other improvements as required by the Director of Public Works.

73. **PHASES II-IV:** The site plan shall include the following:
- a. The location and size of all existing and proposed water, sewer, and storm drainage facilities within the project site and abutting streets or alleys.
 - b. The location, quantity and size of all existing and proposed sewer laterals.
 - c. The location, size and orientation of all trash enclosures.
 - d. All existing and proposed parcel lines and easements crossing the property.
 - e. The location and dimension of all existing and proposed paved areas.
 - g. The location of all existing and proposed public or private utilities.
74. **PHASES II-IV:** Improvement plans shall include plan and profile of existing and proposed streets, utilities and retaining walls.
75. Any landscape and irrigation within the public right of way require plans that shall be approved by the Public Works and Community Development Departments.

WATER

76. **PHASES II-IV:** Whenever possible, all water mains shall be looped to prevent dead ends. The Director of Public Works must grant permission to dead end water mains.
77. **PHASES II-IV:** Construction water is available at the corporate yard. The City of Arroyo Grande does not allow the use of hydrant meters.
78. Each parcel shall have separate water meters. Duplex service lines shall be used if feasible.
79. **PHASES II-IV:** Lots using fire sprinklers shall have individual service connections. If the units are to be fire sprinkled, a fire sprinkler engineer shall determine the size of the water meters.
80. **PHASES II-IV:** Existing water services to be abandoned shall be properly abandoned and capped at the main per the requirements of the Director of Public Works.
81. **PHASES II-IV:** The applicant shall complete measures to neutralize the estimated increase in water demand created by the project by either:
- a. Implement an individual water program consisting of retrofitting existing high-flow plumbing fixtures with low flow devices. The calculations shall be submitted to the Director of Public Works for review and approval. The proposed individual water program shall be submitted to the City Council

- for approval prior to implementation; OR,
b. The applicant may pay an in lieu fee of \$2,200 for each new residential unit.

82. **PHASES II-IV:** Install fire hydrants to Public Works and Building and Life Safety Division requirements.

SEWER

83. **PHASES II-IV:** Each parcel shall be provided a separate sewer lateral.
84. All sewer laterals must connect to City sewer mains.
85. **PHASES II-IV:** All new sewer mains must be a minimum diameter of 8".
86. **PHASES II-IV:** All sewer laterals within the public right of way must have a minimum slope of 2%.
87. **PHASES II-IV:** All sewer mains or laterals crossing or parallel to public water facilities shall be constructed in accordance with California State Health Agency standards.
88. **PHASES II-IV:** Existing sewer laterals to be abandoned shall be properly abandoned and capped at the main per the requirements of the Director of Public Works.
89. **PHASES II-IV:** Obtain approval from the South County Sanitation District for the development's impact to District facilities.

PUBLIC UTILITIES

90. **PHASES II-IV:** Underground all new public utilities in accordance with Section 16.68.050 of the Development Code.
91. **PHASES II-IV:** Under ground all existing overhead public utilities on-site and in the street in accordance with Section 16.68.050 of the Development Code.
92. **PHASES II-IV:** Underground improvements shall be installed prior to street paving.
93. **PHASES II-IV:** Submit all improvement plans to the public utility companies for approval and comment. Utility comments shall be forwarded to the Director of Public Works for approval.
94. Submit the Final Map shall to the public utility companies for review and comment. Utility comments shall be forwarded to the Director of Public Works for approval.
95. **PHASES II-IV:** Prior to approving any building permit within the project for occupancy, all public utilities shall be operational.

96. **PHASES II-IV:** All public utility plans shall be submitted to the Director of Public Works for review and comments.

STREETS

97. **PHASES II-IV:** Obtain approval from the Director of Public Works prior to excavating in any street recently over-laid or slurry sealed. The Director of Public Works shall approve the method of repair of any such trenches, but shall not be limited to an overlay, slurry seal, or fog seal.
98. **PHASES II-IV:** All trenching in City streets shall utilize saw cutting. Any over cuts shall be cleaned and filled with epoxy.
99. **PHASES II-IV:** All street repairs shall be constructed to City standards.
100. **PHASES II-IV:** Street structural sections shall be determined by an R-Value soil test and TI, but shall not be less than 3" of asphalt and 6" of Class II AB.
101. **PHASES II-IV:** Overlay, slurry seal, or fog seal any roads dedicated to the City prior to acceptance by the City may be required as directed by the Director of Public Works.

CURB, GUTTER, AND SIDEWALK

102. **PHASES II-IV:** Utilize saw cuts for all repairs made in curb, gutter, and sidewalk.
103. **PHASES II-IV:** Install tree wells for all trees planted adjacent to curb, gutter and sidewalk to prevent damage due to root growth.

GRADING

104. **PUBLIC IMPROVEMENTS:** Submit all retaining wall calculations, prepared and stamped by a structural engineer, for review and approval by the City Engineer for walls not constructed per City standards.
105. **PHASES II-IV:** Perform all grading in conformance with the City Grading Ordinance.
106. **PHASES II-IV:** Submit a preliminary soils report prepared by a registered Civil Engineer and supported by adequate test borings. All earthwork design and grading shall be performed in accordance with the approved soils report.

DRAINAGE

107. **PHASE III:** Ensure Phase III drainage complies with Post Construction Requirements
108. **PHASES II-IV:** All drainage facilities shall be designed to accommodate a 100-year storm flow.

- 109. **PHASES II-IV:** All drainage facilities shall be in accordance with the Drainage Master Plan.
- 110. **PHASES II-IV:** The project is in Drainage Zone "B" and will require runoff to be directed to the creek. Per Drainage Zone "B" requirements, post construction runoff cannot exceed preconstruction runoff.
- 111. **PHASES II-IV:** Submit detailed drainage calculations for review and approval by the City Engineer.

POST CONSTRUCTION REQUIREMENTS REGIONAL WATER QUALITY CONTROL BOARD, OPERATIONS AND MAINTENANCE PLAN, AND ANNUAL STORMWATER CONTROL FACILITIES MAINTENANCE

- 112. **PHASE III The Applicant shall develop, implement and provide the City a:**
 - a. Prior to a building or grading permit a Stormwater Control Plan that clearly provides engineering analysis of all Water Quality Treatment, Runoff Retention, and Peak Flow Management controls complying with Engineering Standard 1010 Section 5.2.2.
 - b. Prior to final acceptance an Operation and Maintenance Plan and Maintenance Agreements that clearly establish responsibility for all Water Quality Treatment, Runoff Retention, and Peak Flow Management controls complying with Engineering Standard 1010 Section 5.2.3.
 - c. Annual Maintenance Notification indicating that all Water Quality Treatment, Runoff Retention, and Peak Flow Management controls are being maintained and are functioning as designed.
 - d. All reports must be completed by either a Registered Civil Engineer or Qualified Stormwater Pollution Prevention Plan Developer (QSD).
- 113. **PHASE II-IV:** Prior to the issuance of a grading permit, the developer shall submit one (1) copy of the final project-specific Storm Water Pollution Plan (SWPPP) consistent with the Regional Water Quality Control Board (RWQCB) requirements and shall comply with RWQCB Construction General Permit.

DEDICATIONS AND EASEMENTS

- 114. All easements, abandonments, or similar documents to be recorded as a document separate from a map, shall be prepared by the applicant on 8 1/2 x 11 City standard forms, and shall include legal descriptions, sketches, closure calculations, and a current preliminary title report. The applicant shall be responsible for all required fees, including any additional required City processing.
- 115. **PHASES II-IV:** Abandonment of public streets and public easements shall be listed on the final map of parcel map, in accordance with Section 66499.20 of the Subdivision Map Act.
- 116. **PHASES II-IV:** Street tree planting and maintenance easements shall be

dedicated adjacent to all street right of ways. Street tree easements shall be a minimum of 10 feet beyond the right of way, except that street tree easements shall exclude the area covered by public utility easements.

117. **PHASES III & IV:** A Public Utility Easement (PUE) shall be dedicated over the private driveway for the residential portion.
118. **PHASES II-IV:** Easements shall be dedicated to the public on the map, or other separate document approved by the City, for the following:
 - Sewer easement over the existing sewer main. The existing easement is to the County of San Luis Obispo, but the City owns a portion of the main. The easement shall be a minimum of 15 feet wide.
 - Water easements where shown on the tentative map. The easements shall be a minimum of 15 feet wide.
119. Private easements shall be reserved on the map, or other separate document approved by the City, for sewer and water service.
120. Prior to issuance of grading or building permits for the project, the applicant shall provide evidence, to the satisfaction of the City Attorney, of all easements necessary for unimpeded public access to the project site, as shown on the project plans.

PERMITS

121. Obtain an encroachment permit prior to performing any of the following:
 - a. Performing work in the City right of way.
 - b. Staging work in the City right of way.
 - c. Stockpiling material in the City right of way.
 - d. Storing equipment in the City right of way.
122. **PHASES II-IV:** Obtain a grading permit prior to commencement of any grading operations on site.

AGREEMENTS

123. **PHASES II-IV: Inspection Agreement:** Prior to approval of an improvement plan, the applicant shall enter into an agreement with the City for inspection of the required improvements.
124. **Subdivision Improvement Agreement:** The subdivider shall enter into a subdivision agreement for the completion and guarantee of improvements required. The subdivision agreement shall be on a form acceptable to the City.
125. Covenants, Conditions, and Restrictions to outline the maintenance of the common facilities. These shall be subject to the review and approval of the Community Development Director and the City Attorney.

IMPROVEMENT SECURITIES

126. **PHASES II-IV:** All improvement securities shall be of a form as set forth in Development Code Section 16.68.090, Improvement Securities.
127. **PHASES II-IV:** Submit an engineer's estimate of quantities for public improvements for review by the City Engineer.
128. **PHASES II-IV:** Provide financial security for the following, to be based upon a construction cost estimate approved by the City Engineer:
 - a. **Faithful Performance:** 100% of the approved estimated cost of all subdivision improvements.
 - b. **Labor and Materials:** 50% of the approved estimated cost of all subdivision improvements.
 - c. **One Year Guarantee:** 10% of the approved estimated cost of all subdivision improvements. This bond is required prior to acceptance of the subdivision improvements.
129. **Monumentation:** 100% of the estimated cost of setting survey monuments. This financial security may be waived if the developer's surveyor submits to the Director of Public Works a letter assuring that all monumentation has been set.

OTHER DOCUMENTATION

130. **Tax Certificate:** The applicant shall furnish a certificate from the tax collector's office indicating that there are no unpaid taxes or special assessments against the property. The applicant may be required to bond for any unpaid taxes or liens against the property. This shall be submitted prior to placing the map on the City Council Agenda for approval.
131. **Preliminary Title Report:** A current preliminary title report shall be submitted to the City Engineer prior to checking the map.
132. **Subdivision Guarantee:** A current subdivision guarantee shall be submitted to the City Engineer with the final submittal of the Map.

Prior to issuing a building permit

133. The Final Map shall be recorded with all pertinent conditions of approval satisfied.

Prior to issuing a certificate of occupancy

134. **PHASES II-IV:** All utilities shall be operational.
135. **PHASES II-IV:** All essential project improvements shall be constructed prior to occupancy. Non-essential improvements, guaranteed by an agreement and financial securities, may be constructed after occupancy as directed by the Community Development Director.
136. **PHASES II-IV:** Prior to the final 10% of occupancies for the project are issued; all improvements shall be fully constructed and accepted by the City.

PLANNING COMMISSION CONDITIONS

137. Completion of the curb, gutter, and sidewalk improvements on Crown Terrace from Le Point Street to Crown Hill shall be concurrent with Phase III of the development.

MITIGATION MEASURES

SEE MITIGATION MONITORING PROGRAM (EXHIBIT D).

EXHIBIT "B"

Full Copy on File in the Community
Development Department



ADDENDUM TO THE CREEKSIDE MIXED-USE CENTER ENVIRONMENTAL IMPACT REPORT (SCH No. 2001091085)

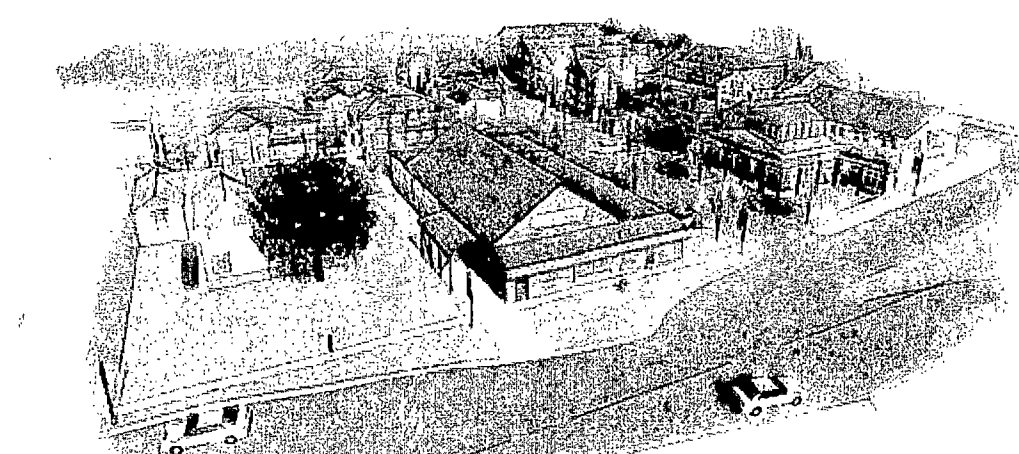
Amended Planned Unit Development 18-001

Revisions to a Previously Approved Planned Unit Development to Allow Eight (8) Additional Housing
Units

415 E. Branch Street
(Phase 3 of the Creekside Mixed-Use Center)



February 2019

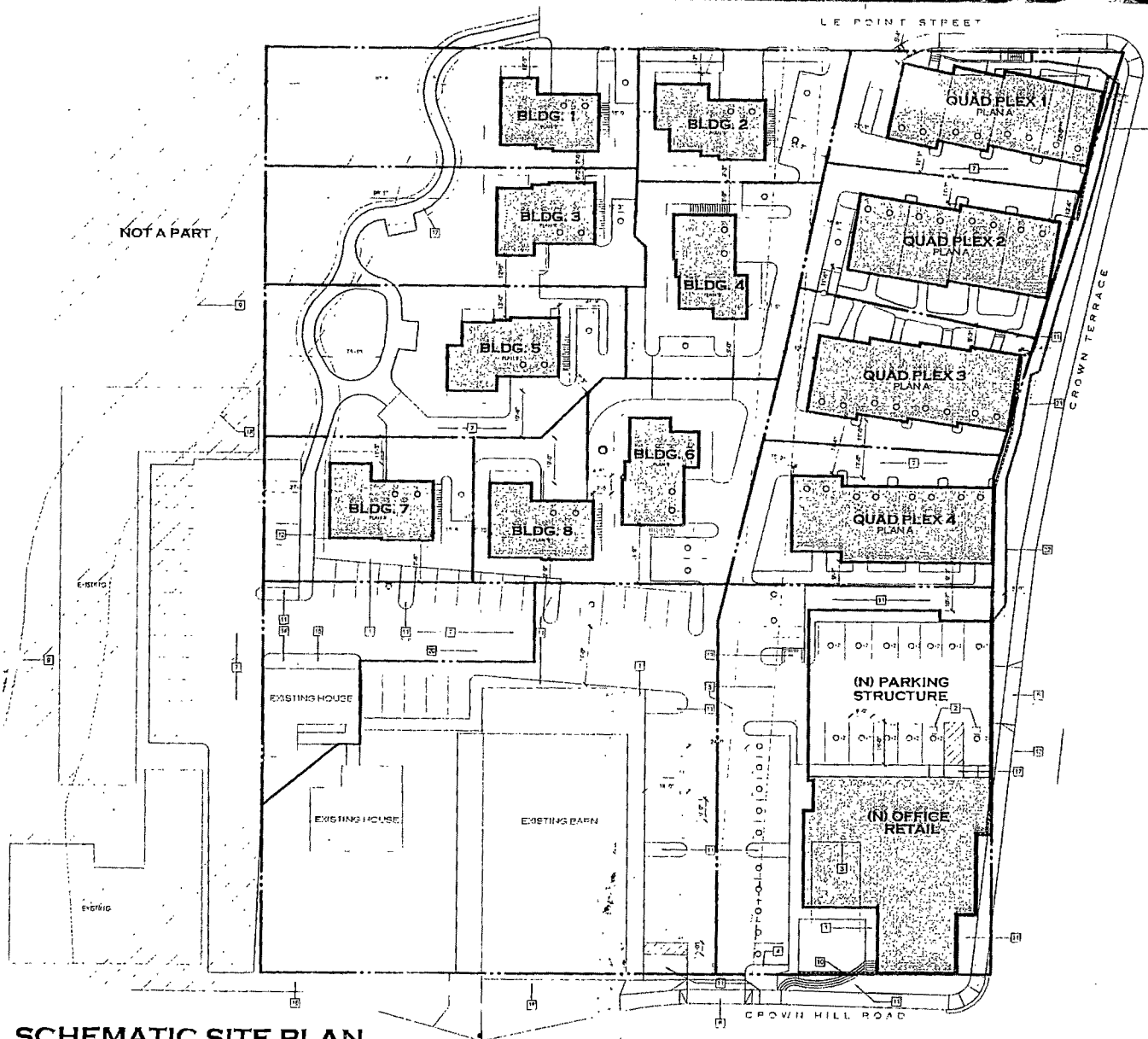


- [illegible]

STIFFENING	1st FLOOR	4736	50 FT
	2nd FLOOR	1140	50 FT
	3rd FLOOR	4051	50 FT
SUBTOTAL		10327	
RESISTANCE	1st FLOOR	2770	50 FT
	2nd FLOOR	2770	50 FT
	3rd FLOOR	2740	50 FT
SUBTOTAL		8280	52.5 FT (4th 12.5% SOF)
STIFFENING & RESISTANCE	1st FLOOR	1115	50 FT
	2nd FLOOR	1142	50 FT
SUBTOTAL		2257	50 FT (4th 12.5% SOF)
TOTAL		20,290	53.7 FT



- DPT 1 TITLE SHEET
 DPT 2 SITE PLAN
 DPT 3 TENTATIVE TRACT MAP (TIC)
 DPT 4 TENTATIVE PLANS (4 SHEETS)
 DPT 5 SCHEMATIC GRADING AND DRAINAGE PLAN (NO CHANGE)
 DPT 6 SCHEMATIC GRADING AND DRAINAGE PLAN (RETICLE)
 DPT 7 OFFICE/RETAIL FLOOR PLANS (NO CHANGE)
 DPT 8 OFFICE/RETAIL ELEVATIONS (NO CHANGE)
 DPT 9 RESIDENTIAL PLAN 1 (BEDROOMS 1-3) PLANS AND ELEVATIONS
 DPT 10 RESIDENTIAL PLAN 1 (BEDROOMS 1-3) PLANS AND ELEVATIONS
 DPT 11 RESIDENTIAL PLAN 1 (BEDROOMS 1-3) PLANS AND ELEVATIONS (NO CHANGE) FOR FIVE APPROVALS
 DPT 12 RESIDENTIAL PLAN 1 (BEDROOMS 1-3) PLANS AND ELEVATIONS (NO CHANGE) FOR FIVE APPROVALS
 DPT 13 EXHIBITS
 L1 SCHEMATIC LANDSCAPE PLAN
 L2 PLANTING PLAN



SCHEMATIC SITE PLAN

REFERENCE NOTES

- 1 CONCRETE WALKWAY
- 2 ACCESSIBLE PARKING
- 3 BIPOD TO BE REMOVED
- 4 3' x 6' PATIO/DECK SPACE
- 5 PAVED PLAZA
- 6 METAL/STEEL/ALUMINUM PER CITY STANDARDS
- 7 EXISTING DRIVEWAY TO BE REMOVED
- 8 SEWER AND GAS EXISTING
- 9 CENTERLINE OF CREEK
- 10 PLAZA/SEATING AREA
- 11 LANDSCAPING REFER TO LANDSCAPE PLAN
- 12 PUBLIC PATHWAY REFER TO LANDSCAPE PLAN
- 13 NEW CURB SIDEWALK AND GUTTER PER CITY STANDARDS
- 14 EXISTING ADDITION TO BE REMOVED
- 15 LANDSCAPE PLANTING REFER TO LANDSCAPE PLAN
- 16 EXISTING SIDEWALK
- 17 ADA APPROVED RAMP
- 18 FLOODWAY LINE SETBACK 2'
- 19 TRASH ENCLOSURE
- 20 PEDESTRIAN PATHWAY
- 21 REQUESTED 5' CIRCUMFERENCE OF CROWN HILL ROAD
- 22 TRASH ENCLOSURE REFER TO CITY

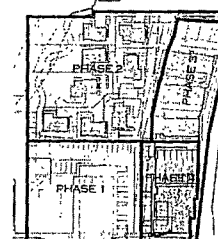
VEHICLE PARKING

	REQUIRED	PROVIDED
OFFICE/RETAIL	10	10
QUAD PLEX 1-2-3-4	12 COVERED 2 UNCOVERED	12 COVERED 2 UNCOVERED
PLAZA/PLANTING 1-2	12 COVERED 2 UNCOVERED	12 COVERED 2 UNCOVERED
PLAZA/PLANTING 3-4	12 COVERED 2 UNCOVERED	12 COVERED 2 UNCOVERED
STREET	10	10
OPEN SPACE	10	10
TOTAL	74	74

REVISION SUMMARY

	APPROVED ENTITLEMENT	REVISION 1
LOT 1 & 2, 1/2, 1/4	1, 1/2, 1/4	1, 1/2, 1/4
LOT 3 & 4, 1/2, 1/4	1, 1/2, 1/4	1, 1/2, 1/4
PARKING SPACES	74	74
OFFICE SPACE	20,000	19,000

PHASING PLAN

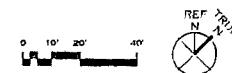


PHASE 1: APPLICANT TO SITE ACCESSIBLE PARKING AND CROWN HILL ROAD

PHASE 2: APPLICANT TO SITE ACCESSIBLE PARKING AND CROWN HILL ROAD

PHASE 3: APPLICANT TO SITE ACCESSIBLE PARKING AND CROWN HILL ROAD

PHASE 4: APPLICANT TO SITE ACCESSIBLE PARKING AND CROWN HILL ROAD



MW ARCHITECTS

REGISTERED ARCHITECT
STATE OF CALIFORNIA
NO. 10000

ARCHITECTS
MICHAEL J. PEARCE
CHRISTOPHER J. STANLEY
430 SHAWLON ROAD
ARROYO GRANDE, CA 93020
TEL: (805) 344-4444
FAX: (805) 344-4444
WWW.MWARCHITECTS.COM

CRENSIDE CENTER
BRANCH STREET
ARROYO GRANDE, CA

SITE PLAN

APPROVED FOR THE CITY OF ARROYO GRANDE, CALIFORNIA
ON 07/25/11
BY THE CITY ENGINEER
AND THE CITY ATTORNEY
AND THE CITY CLERK
AND THE CITY MANAGER
AND THE CITY COMMISSIONER
AND THE CITY SUPERVISOR
AND THE CITY BOARD OF SUPERVISORS
AND THE CITY BOARD OF DIRECTORS
AND THE CITY BOARD OF REGENTS
AND THE CITY BOARD OF TRUSTEES
AND THE CITY BOARD OF CHURCH MEMBERS
AND THE CITY BOARD OF SCHOOLS
AND THE CITY BOARD OF COLLEGE STUDENTS
AND THE CITY BOARD OF SENIORS
AND THE CITY BOARD OF YOUTH
AND THE CITY BOARD OF FAMILIES
AND THE CITY BOARD OF COMMUNITY
AND THE CITY BOARD OF ENVIRONMENT
AND THE CITY BOARD OF CULTURE
AND THE CITY BOARD OF ARTS
AND THE CITY BOARD OF RECREATION
AND THE CITY BOARD OF LEISURE
AND THE CITY BOARD OF SPORTS
AND THE CITY BOARD OF FITNESS
AND THE CITY BOARD OF HEALTH
AND THE CITY BOARD OF WELFARE
AND THE CITY BOARD OF SOCIAL SERVICES
AND THE CITY BOARD OF PUBLIC SAFETY
AND THE CITY BOARD OF FIRE DEPARTMENT
AND THE CITY BOARD OF POLICE DEPARTMENT
AND THE CITY BOARD OF JUDICIAL SYSTEM
AND THE CITY BOARD OF LEGAL SYSTEM
AND THE CITY BOARD OF GOVERNMENT
AND THE CITY BOARD OF BUSINESS
AND THE CITY BOARD OF INDUSTRY
AND THE CITY BOARD OF AGRICULTURE
AND THE CITY BOARD OF FISHERY
AND THE CITY BOARD OF MINING
AND THE CITY BOARD OF ENERGY
AND THE CITY BOARD OF TRANSPORTATION
AND THE CITY BOARD OF INFRASTRUCTURE
AND THE CITY BOARD OF UTILITIES
AND THE CITY BOARD OF WATER
AND THE CITY BOARD OF SEWER
AND THE CITY BOARD OF GARBAGE
AND THE CITY BOARD OF WASTE
AND THE CITY BOARD OF RECYCLING
AND THE CITY BOARD OF CONSTRUCTION
AND THE CITY BOARD OF DEVELOPMENT
AND THE CITY BOARD OF PLANNING
AND THE CITY BOARD OF ZONING
AND THE CITY BOARD OF ORDINANCE
AND THE CITY BOARD OF RESOLUTION
AND THE CITY BOARD OF DECISION
AND THE CITY BOARD OF ACTION
AND THE CITY BOARD OF REACTION
AND THE CITY BOARD OF INTERACTION
AND THE CITY BOARD OF COOPERATION
AND THE CITY BOARD OF COMPETITION
AND THE CITY BOARD OF COLLABORATION
AND THE CITY BOARD OF PARTNERSHIP
AND THE CITY BOARD OF ALLIANCE
AND THE CITY BOARD OF UNION
AND THE CITY BOARD OF ASSOCIATION
AND THE CITY BOARD OF CONFEDERATION
AND THE CITY BOARD OF COMMONWEALTH
AND THE CITY BOARD OF DOMINION
AND THE CITY BOARD OF SOVEREIGNTY
AND THE CITY BOARD OF INDEPENDENCE
AND THE CITY BOARD OF FREEDOM
AND THE CITY BOARD OF JUSTICE
AND THE CITY BOARD OF EQUITY
AND THE CITY BOARD OF FAIRNESS
AND THE CITY BOARD OF HONOR
AND THE CITY BOARD OF INTEGRITY
AND THE CITY BOARD OF COURAGE
AND THE CITY BOARD OF BRAVERY
AND THE CITY BOARD OF COURTESY
AND THE CITY BOARD OF POLITENESS
AND THE CITY BOARD OF RESPECT
AND THE CITY BOARD OF TOLERANCE
AND THE CITY BOARD OF ACCEPTANCE
AND THE CITY BOARD OF APPRECIATION
AND THE CITY BOARD OF GRATITUDE
AND THE CITY BOARD OF THANKS
AND THE CITY BOARD OF LOVE
AND THE CITY BOARD OF KINDNESS
AND THE CITY BOARD OF COMPASSION
AND THE CITY BOARD OF MERCY
AND THE CITY BOARD OF GENTLENESS
AND THE CITY BOARD OF MEekNESS
AND THE CITY BOARD OF PATIENCE
AND THE CITY BOARD OF FORGIVENESS
AND THE CITY BOARD OF LONG-SUFFERING
AND THE CITY BOARD OF KINDNESS
AND THE CITY BOARD OF GOODNESS
AND THE CITY BOARD OF BEAUTY
AND THE CITY BOARD OF GLORY
AND THE CITY BOARD OF HONOR
AND THE CITY BOARD OF RESPECT
AND THE CITY BOARD OF FAITH
AND THE CITY BOARD OF TRUST
AND THE CITY BOARD OF HOPE
AND THE CITY BOARD OF CHARITY
AND THE CITY BOARD OF LOVE
AND THE CITY BOARD OF KINDNESS
AND THE CITY BOARD OF COMPASSION
AND THE CITY BOARD OF MERCY
AND THE CITY BOARD OF GENTLENESS
AND THE CITY BOARD OF MEekNESS
AND THE CITY BOARD OF PATIENCE
AND THE CITY BOARD OF FORGIVENESS
AND THE CITY BOARD OF LONG-SUFFERING
AND THE CITY BOARD OF KINDNESS
AND THE CITY BOARD OF GOODNESS
AND THE CITY BOARD OF BEAUTY
AND THE CITY BOARD OF GLORY
AND THE CITY BOARD OF HONOR
AND THE CITY BOARD OF RESPECT
AND THE CITY BOARD OF FAITH
AND THE CITY BOARD OF TRUST
AND THE CITY BOARD OF HOPE
AND THE CITY BOARD OF CHARITY
AND THE CITY BOARD OF LOVE

2010 NUMBER: 07251

DATE: 8/28/07

APPROVED FOR THE CITY OF ARROYO GRANDE, CALIFORNIA

DP2

LE POINT STREET

TALLY ROAD

BRANCH STREET

CROWN STREET

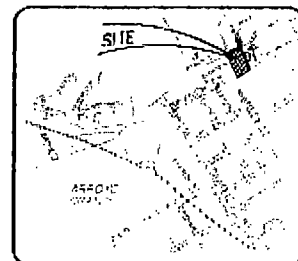
STREET

LOT LINES
MODIFIED
REFER TO DP 10

NOTICE
THIS MAP WAS PREPARED BY THE ENGINEER FOR THE
OWNER AND IS NOT A GUARANTEE OF THE ACCURACY
OF THE DATA HEREON SHOWN.

NOTICE
THIS MAP WAS PREPARED BY THE ENGINEER FOR THE
OWNER AND IS NOT A GUARANTEE OF THE ACCURACY
OF THE DATA HEREON SHOWN.

LEGEND	
1	EXISTING LOT LINE
2	PROPOSED LOT LINE
3	PROPOSED LOT LINE
4	PROPOSED LOT LINE
5	PROPOSED LOT LINE
6	PROPOSED LOT LINE
7	PROPOSED LOT LINE
8	PROPOSED LOT LINE
9	PROPOSED LOT LINE
10	PROPOSED LOT LINE
11	PROPOSED LOT LINE
12	PROPOSED LOT LINE
13	PROPOSED LOT LINE
14	PROPOSED LOT LINE
15	PROPOSED LOT LINE
16	PROPOSED LOT LINE
17	PROPOSED LOT LINE
18	PROPOSED LOT LINE
19	PROPOSED LOT LINE
20	PROPOSED LOT LINE
21	PROPOSED LOT LINE
22	PROPOSED LOT LINE
23	PROPOSED LOT LINE
24	PROPOSED LOT LINE
25	PROPOSED LOT LINE
26	PROPOSED LOT LINE
27	PROPOSED LOT LINE
28	PROPOSED LOT LINE
29	PROPOSED LOT LINE
30	PROPOSED LOT LINE
31	PROPOSED LOT LINE
32	PROPOSED LOT LINE
33	PROPOSED LOT LINE
34	PROPOSED LOT LINE
35	PROPOSED LOT LINE
36	PROPOSED LOT LINE
37	PROPOSED LOT LINE
38	PROPOSED LOT LINE
39	PROPOSED LOT LINE
40	PROPOSED LOT LINE
41	PROPOSED LOT LINE
42	PROPOSED LOT LINE
43	PROPOSED LOT LINE
44	PROPOSED LOT LINE
45	PROPOSED LOT LINE
46	PROPOSED LOT LINE
47	PROPOSED LOT LINE
48	PROPOSED LOT LINE
49	PROPOSED LOT LINE
50	PROPOSED LOT LINE
51	PROPOSED LOT LINE
52	PROPOSED LOT LINE
53	PROPOSED LOT LINE
54	PROPOSED LOT LINE
55	PROPOSED LOT LINE
56	PROPOSED LOT LINE
57	PROPOSED LOT LINE
58	PROPOSED LOT LINE
59	PROPOSED LOT LINE
60	PROPOSED LOT LINE
61	PROPOSED LOT LINE
62	PROPOSED LOT LINE
63	PROPOSED LOT LINE
64	PROPOSED LOT LINE
65	PROPOSED LOT LINE
66	PROPOSED LOT LINE
67	PROPOSED LOT LINE
68	PROPOSED LOT LINE
69	PROPOSED LOT LINE
70	PROPOSED LOT LINE
71	PROPOSED LOT LINE
72	PROPOSED LOT LINE
73	PROPOSED LOT LINE
74	PROPOSED LOT LINE
75	PROPOSED LOT LINE
76	PROPOSED LOT LINE
77	PROPOSED LOT LINE
78	PROPOSED LOT LINE
79	PROPOSED LOT LINE
80	PROPOSED LOT LINE
81	PROPOSED LOT LINE
82	PROPOSED LOT LINE
83	PROPOSED LOT LINE
84	PROPOSED LOT LINE
85	PROPOSED LOT LINE
86	PROPOSED LOT LINE
87	PROPOSED LOT LINE
88	PROPOSED LOT LINE
89	PROPOSED LOT LINE
90	PROPOSED LOT LINE
91	PROPOSED LOT LINE
92	PROPOSED LOT LINE
93	PROPOSED LOT LINE
94	PROPOSED LOT LINE
95	PROPOSED LOT LINE
96	PROPOSED LOT LINE
97	PROPOSED LOT LINE
98	PROPOSED LOT LINE
99	PROPOSED LOT LINE
100	PROPOSED LOT LINE



NEARBY MAP

**CIVIL
TEC ENGINEERING
CONSULTANTS**

**VESTING TENTATIVE
TRACT MAP
NO. 2346**

A SUBDIVISION OF
BLOCKS 36 AND 37 OF
SECTION 16, TOWNSHIP 11N, RANGE 12E,
SOUTH 47TH RANGE

City of Irvine, Orange
County of Santa Ana, California

April 2001
2001.1.01.1

SURVEYOR'S STATEMENT

I, the undersigned, being a duly qualified and licensed surveyor, do hereby certify that the foregoing is a true and correct copy of the original survey as shown to me by the owner and as the same appears on the original survey as shown to me by the owner.

SITE INFORMATION

LOT 10
LOT 11
LOT 12
LOT 13
LOT 14
LOT 15
LOT 16
LOT 17
LOT 18
LOT 19
LOT 20
LOT 21
LOT 22
LOT 23
LOT 24
LOT 25
LOT 26
LOT 27
LOT 28
LOT 29
LOT 30
LOT 31
LOT 32
LOT 33
LOT 34
LOT 35
LOT 36
LOT 37
LOT 38
LOT 39
LOT 40
LOT 41
LOT 42
LOT 43
LOT 44
LOT 45
LOT 46
LOT 47
LOT 48
LOT 49
LOT 50
LOT 51
LOT 52
LOT 53
LOT 54
LOT 55
LOT 56
LOT 57
LOT 58
LOT 59
LOT 60
LOT 61
LOT 62
LOT 63
LOT 64
LOT 65
LOT 66
LOT 67
LOT 68
LOT 69
LOT 70
LOT 71
LOT 72
LOT 73
LOT 74
LOT 75
LOT 76
LOT 77
LOT 78
LOT 79
LOT 80
LOT 81
LOT 82
LOT 83
LOT 84
LOT 85
LOT 86
LOT 87
LOT 88
LOT 89
LOT 90
LOT 91
LOT 92
LOT 93
LOT 94
LOT 95
LOT 96
LOT 97
LOT 98
LOT 99
LOT 100

OWNER & SUBDIVIDER

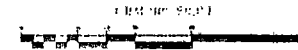
THE CITY OF IRVINE
COUNTY OF SANTA ANA, CALIFORNIA

UTILITIES

WATER
SEWER
GAS
ELECTRIC
TELEPHONE
CABLE
FIBER OPTIC
RADIO
TELEVISION
SATELLITE
OTHER

OWNER'S STATEMENT

I, the undersigned, being a duly qualified and licensed owner, do hereby certify that the foregoing is a true and correct copy of the original survey as shown to me by the owner and as the same appears on the original survey as shown to me by the owner.

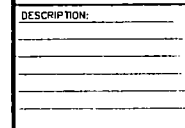


**CREEKSIDE
CENTER
BRANCH STREET
ARVING, CALIFORNIA**

**TENTATIVE TRACT
MAP (TEC)**

For the purpose of this map, the engineer has prepared a preliminary plan of the proposed subdivision, showing the location of the proposed lots, the location of the proposed streets, and the location of the proposed utilities. The engineer has also prepared a preliminary plan of the proposed subdivision, showing the location of the proposed lots, the location of the proposed streets, and the location of the proposed utilities.

DP3
2001.1.01.1

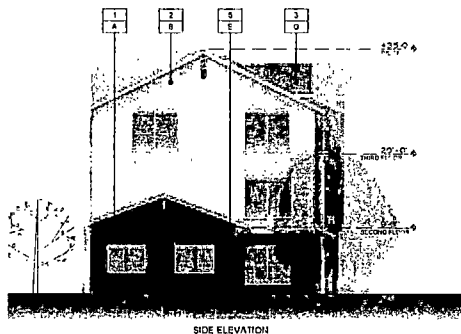




FRONT DOOR ELEVATION



ALLEY ELEVATION



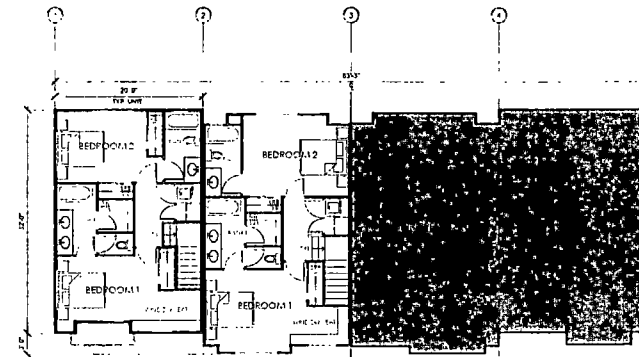
SIDE ELEVATION

ELEVATION NOTES

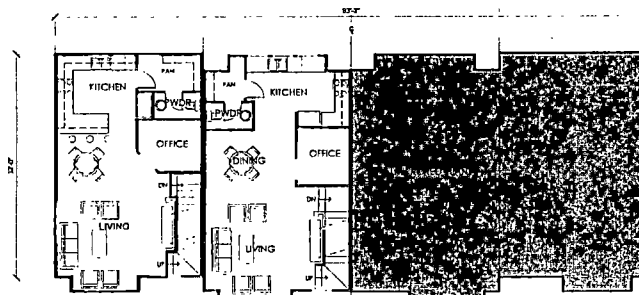
1. EXTERIOR FINISHES TO BE AS SHOWN ON ELEVATIONS
2. SMOOTH PLASTER FINISH
3. EXTERIOR DOOR GLASS
4. CORRUGATED METAL ROOFING
5. 1/2" INSULATION
6. BROWN BRICK VENEER

COLOR DESIGNATIONS

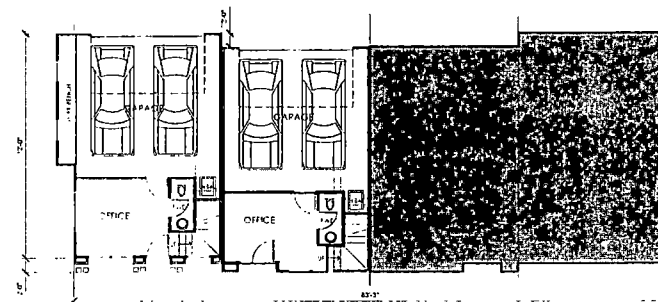
- A. SLIGHT RED COAT
- B. SLIGHT SPOT BLUE
- C. SLIGHT SPOT BLUE
- D. SLIGHT SPOT BLUE
- E. WHITE
- F. SLIGHT SPOT BLUE
- G. BROWN BRICK



THIRD FLOOR

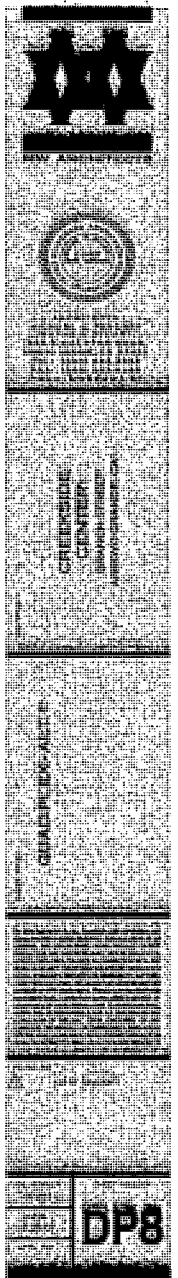


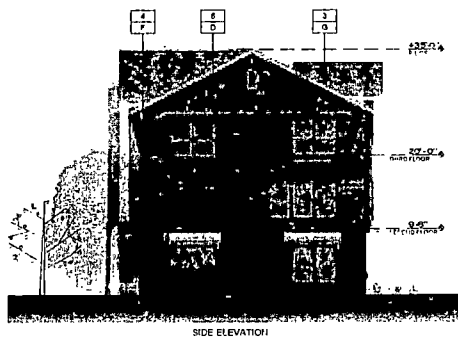
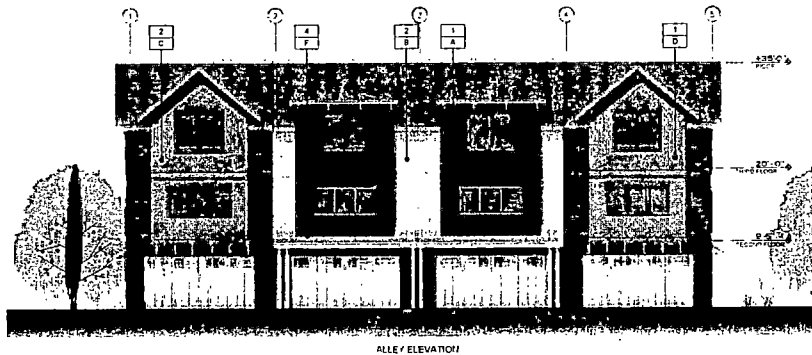
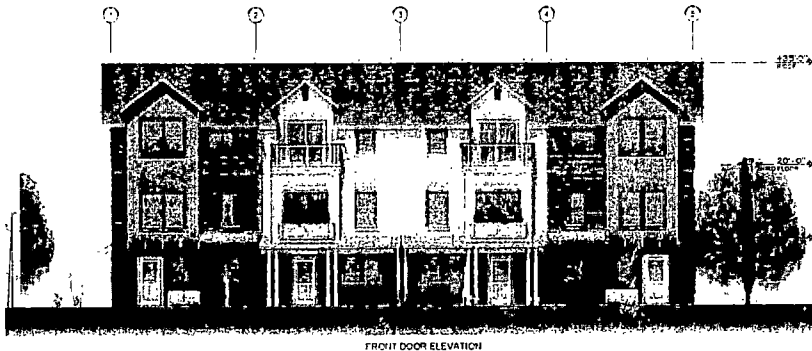
SECOND FLOOR



GROUND FLOOR

△ RESIDENTIAL 'A' (BUILDINGS 1 & 3)



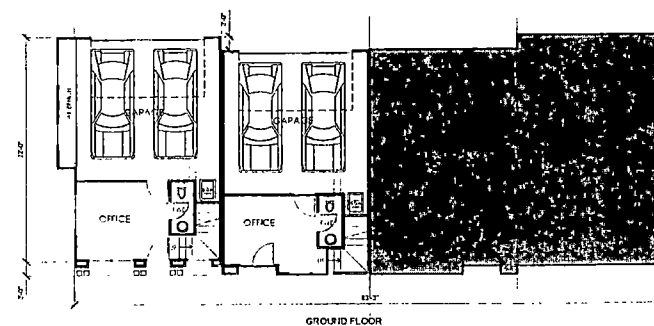
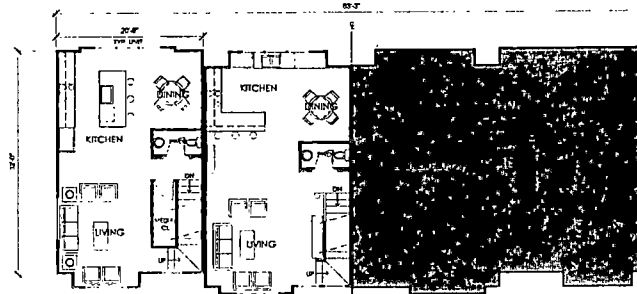
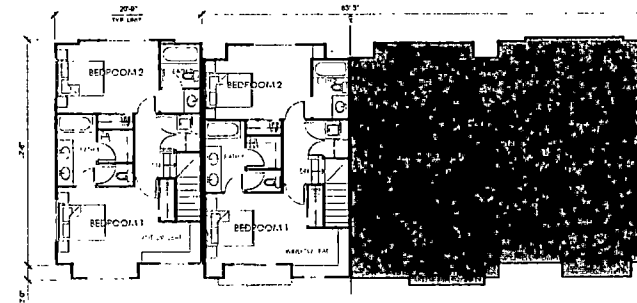


ELEVATION NOTES

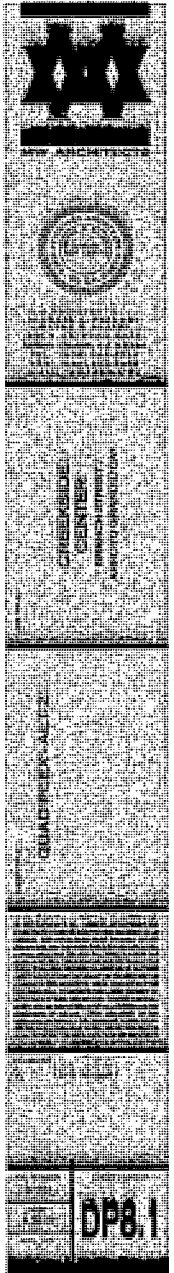
1. 1/2" BEER CEMENT HORIZONTAL TERRAZZO FINISH (UPPER LAP VENT)
2. SHUTTERED 1/2" BEER CEMENT
3. SHUTTERED 1/2" BEER CEMENT
4. CORRUGATED METAL ROOFING
5. 1/2" BEER
6. 1/2" BEER AND BATTERY TONGS

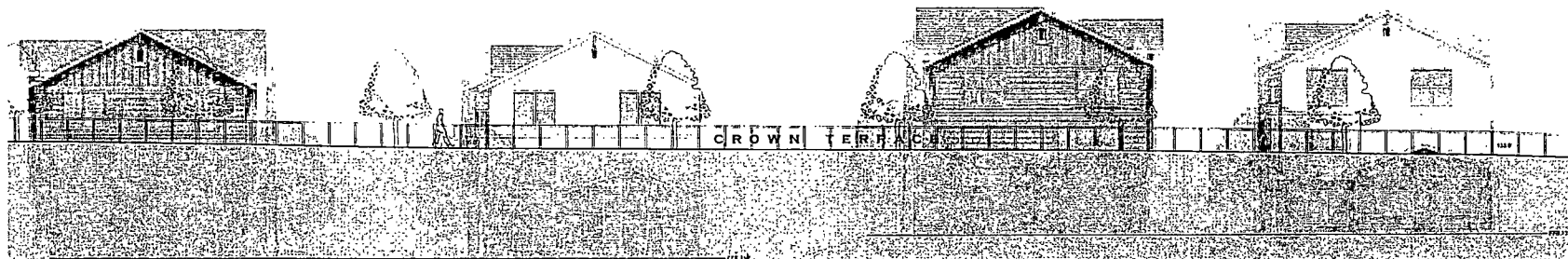
COLOR DESIGNATIONS

- A. DUBAI RED GENT
- B. DUBAI RED GENT
- C. DUBAI RED GENT
- D. DUBAI RED GENT
- E. WHITE
- F. CLEAR POLYURETHANE FINISH
- G. ESTATE GENT

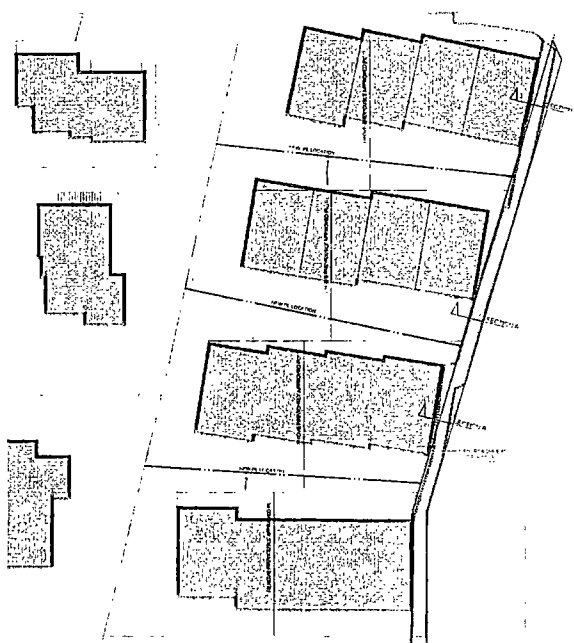


△ RESIDENTIAL 'A' (BUILDINGS 2 & 4)

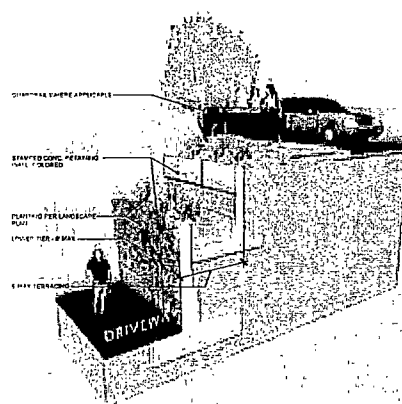
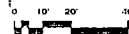




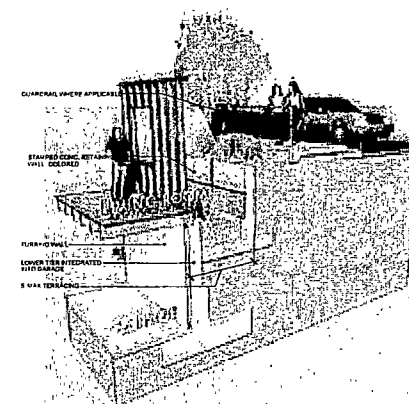
CROWN TERRACE ELEVATION



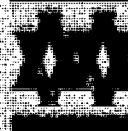
PL ADJUSTMENT & ENCROACHMENT



RETAINING WALL - SECTION A



RETAINING WALL - SECTION B



CITY OF DALLAS

PLANNING DEPARTMENT

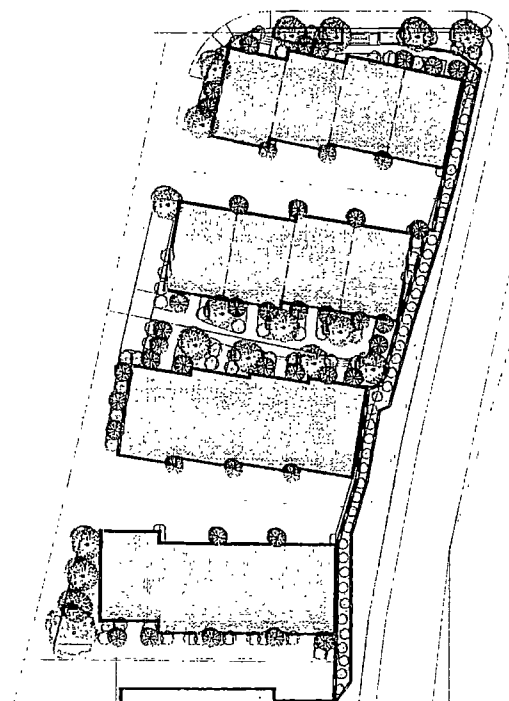
1000 GRASSLAND BLVD, SUITE 1000
DALLAS, TEXAS 75201-2700
TEL: 214-671-2200 FAX: 214-671-2201

CITY ENGINEER

BRANDY OTTIE
BRANDY@CITYOFDALLAS.ORG

EXHIBIT

DP10



SCHEMATIC LANDSCAPE PLAN

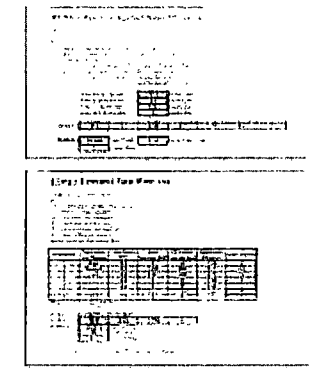
PLANT MATERIAL SPECIFICATIONS AND NOTES

PLANT PALETTE

PLANT MATERIAL SPECIFICATIONS AND NOTES

SYMBOL	SCIENTIFIC NAME	COMMON NAME	VARIETY	SIZE
1	Cercis canadensis	Redbud	None	15 GAL
2	Eucalyptus laevis	Yellow Pigeonwood	None	15 GAL
3	Gleditsia pinnata	Acacia	None	15 GAL
4	Hesperis matronalis	Evening Primrose	None	15 GAL
5	Hydrangea arborescens	Hydrangea	None	15 GAL
6	Pinus strobus	Pinus	None	15 GAL
7	Rhus typhina	Staghorn Sumac	None	15 GAL
8	Ulmus americana	Ulmus	None	15 GAL
9	Myrica carolinensis	Shrubby Spice	None	15 GAL
10	Opuntia sp.	Cactus	None	15 GAL
11	Rhus typhina	Staghorn Sumac	None	15 GAL
12	Rhus typhina	Staghorn Sumac	None	15 GAL
13	Rhus typhina	Staghorn Sumac	None	15 GAL
14	Rhus typhina	Staghorn Sumac	None	15 GAL
15	Rhus typhina	Staghorn Sumac	None	15 GAL
16	Rhus typhina	Staghorn Sumac	None	15 GAL
17	Rhus typhina	Staghorn Sumac	None	15 GAL
18	Rhus typhina	Staghorn Sumac	None	15 GAL
19	Rhus typhina	Staghorn Sumac	None	15 GAL
20	Rhus typhina	Staghorn Sumac	None	15 GAL
21	Rhus typhina	Staghorn Sumac	None	15 GAL
22	Rhus typhina	Staghorn Sumac	None	15 GAL
23	Rhus typhina	Staghorn Sumac	None	15 GAL
24	Rhus typhina	Staghorn Sumac	None	15 GAL
25	Rhus typhina	Staghorn Sumac	None	15 GAL
26	Rhus typhina	Staghorn Sumac	None	15 GAL
27	Rhus typhina	Staghorn Sumac	None	15 GAL
28	Rhus typhina	Staghorn Sumac	None	15 GAL
29	Rhus typhina	Staghorn Sumac	None	15 GAL
30	Rhus typhina	Staghorn Sumac	None	15 GAL
31	Rhus typhina	Staghorn Sumac	None	15 GAL
32	Rhus typhina	Staghorn Sumac	None	15 GAL
33	Rhus typhina	Staghorn Sumac	None	15 GAL
34	Rhus typhina	Staghorn Sumac	None	15 GAL
35	Rhus typhina	Staghorn Sumac	None	15 GAL
36	Rhus typhina	Staghorn Sumac	None	15 GAL
37	Rhus typhina	Staghorn Sumac	None	15 GAL
38	Rhus typhina	Staghorn Sumac	None	15 GAL
39	Rhus typhina	Staghorn Sumac	None	15 GAL
40	Rhus typhina	Staghorn Sumac	None	15 GAL
41	Rhus typhina	Staghorn Sumac	None	15 GAL
42	Rhus typhina	Staghorn Sumac	None	15 GAL
43	Rhus typhina	Staghorn Sumac	None	15 GAL
44	Rhus typhina	Staghorn Sumac	None	15 GAL
45	Rhus typhina	Staghorn Sumac	None	15 GAL
46	Rhus typhina	Staghorn Sumac	None	15 GAL
47	Rhus typhina	Staghorn Sumac	None	15 GAL
48	Rhus typhina	Staghorn Sumac	None	15 GAL
49	Rhus typhina	Staghorn Sumac	None	15 GAL
50	Rhus typhina	Staghorn Sumac	None	15 GAL
51	Rhus typhina	Staghorn Sumac	None	15 GAL
52	Rhus typhina	Staghorn Sumac	None	15 GAL
53	Rhus typhina	Staghorn Sumac	None	15 GAL
54	Rhus typhina	Staghorn Sumac	None	15 GAL
55	Rhus typhina	Staghorn Sumac	None	15 GAL
56	Rhus typhina	Staghorn Sumac	None	15 GAL
57	Rhus typhina	Staghorn Sumac	None	15 GAL
58	Rhus typhina	Staghorn Sumac	None	15 GAL
59	Rhus typhina	Staghorn Sumac	None	15 GAL
60	Rhus typhina	Staghorn Sumac	None	15 GAL
61	Rhus typhina	Staghorn Sumac	None	15 GAL
62	Rhus typhina	Staghorn Sumac	None	15 GAL
63	Rhus typhina	Staghorn Sumac	None	15 GAL
64	Rhus typhina	Staghorn Sumac	None	15 GAL
65	Rhus typhina	Staghorn Sumac	None	15 GAL
66	Rhus typhina	Staghorn Sumac	None	15 GAL
67	Rhus typhina	Staghorn Sumac	None	15 GAL
68	Rhus typhina	Staghorn Sumac	None	15 GAL
69	Rhus typhina	Staghorn Sumac	None	15 GAL
70	Rhus typhina	Staghorn Sumac	None	15 GAL
71	Rhus typhina	Staghorn Sumac	None	15 GAL
72	Rhus typhina	Staghorn Sumac	None	15 GAL
73	Rhus typhina	Staghorn Sumac	None	15 GAL
74	Rhus typhina	Staghorn Sumac	None	15 GAL
75	Rhus typhina	Staghorn Sumac	None	15 GAL
76	Rhus typhina	Staghorn Sumac	None	15 GAL
77	Rhus typhina	Staghorn Sumac	None	15 GAL
78	Rhus typhina	Staghorn Sumac	None	15 GAL
79	Rhus typhina	Staghorn Sumac	None	15 GAL
80	Rhus typhina	Staghorn Sumac	None	15 GAL
81	Rhus typhina	Staghorn Sumac	None	15 GAL
82	Rhus typhina	Staghorn Sumac	None	15 GAL
83	Rhus typhina	Staghorn Sumac	None	15 GAL
84	Rhus typhina	Staghorn Sumac	None	15 GAL
85	Rhus typhina	Staghorn Sumac	None	15 GAL
86	Rhus typhina	Staghorn Sumac	None	15 GAL
87	Rhus typhina	Staghorn Sumac	None	15 GAL
88	Rhus typhina	Staghorn Sumac	None	15 GAL
89	Rhus typhina	Staghorn Sumac	None	15 GAL
90	Rhus typhina	Staghorn Sumac	None	15 GAL
91	Rhus typhina	Staghorn Sumac	None	15 GAL
92	Rhus typhina	Staghorn Sumac	None	15 GAL
93	Rhus typhina	Staghorn Sumac	None	15 GAL
94	Rhus typhina	Staghorn Sumac	None	15 GAL
95	Rhus typhina	Staghorn Sumac	None	15 GAL
96	Rhus typhina	Staghorn Sumac	None	15 GAL
97	Rhus typhina	Staghorn Sumac	None	15 GAL
98	Rhus typhina	Staghorn Sumac	None	15 GAL
99	Rhus typhina	Staghorn Sumac	None	15 GAL
100	Rhus typhina	Staghorn Sumac	None	15 GAL

WATER USAGE CALCULATIONS



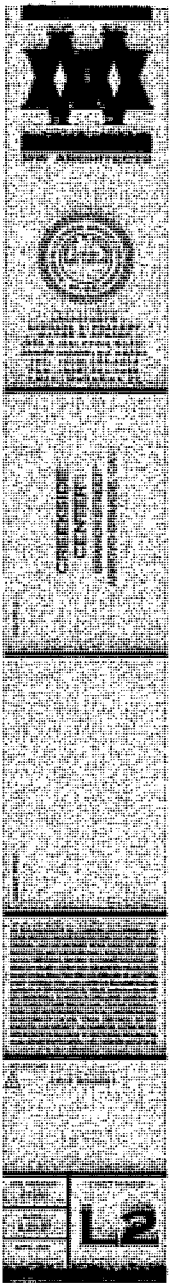
WATER CONSERVATION NOTES

- THE FOLLOWING WATER CONSERVATION TECHNIQUES SHALL BE EMPLOYED IN THIS PROJECT:
- WATER CONSERVING PLANTS, DEFINED AS "VERY/LOW" IN THE WATER USE CLASSIFICATION OF LANDSCAPE SPECIES, SHALL BE USED IN ALL AREAS OF THE PROJECT.
- IRRIGATION SYSTEMS SHALL BE SEPARATE WITH DISTINCT HYDROLOGIES BASED ON PLANT MATERIAL TYPES, SOIL TYPE, AND CLIMATE.
- SOIL AMENDMENTS AND MULCH SHALL BE USED TO INCREASE WATER HOLDING CAPACITY OF THE SOIL.
- AUTOMATIC IRRIGATION SYSTEMS SHALL UTILIZE "SMART CONTROLLER" TECHNOLOGY WITH WATER PULSING FEATURES TO ADJUST WATER APPLICATION BASED ON SOIL MOISTURE AND/OR LOCAL WEATHER DATA.
- LANDSCAPE USED

WATER CONSERVING IRRIGATION DESIGN

- THE FOLLOWING PRINCIPLES OF IRRIGATION DESIGN SHALL BE USED IN THIS PROJECT AND ARE DIRECTED SPECIFICALLY AS CONSERVING WATER AND IMPROVING THE EFFICIENCY OF THE IRRIGATION SYSTEM:
- ALL IRRIGATION SHALL BE DRIP OR MICRO IRRIGATION TO MINIMIZE PUMP HEADS AND LEAKS.
- IRRIGATION SYSTEMS SHALL BE ADJUSTED ACCORDING TO WATER NEEDS AND WEATHER.
- UTILIZATION OF IRRIGATION SYSTEM WATER METER.
- UTILIZATION OF IRRIGATION SYSTEM "SMART CONTROLLER" WITH WATER SENSING FEATURE.
- UTILIZATION OF IRRIGATION SYSTEM FLOW SENSOR.
- UTILIZATION OF WATER SHUT OFF DEVICE CONNECTED TO IRRIGATION CONTROLLER.

TO HELP MINIMIZE THE IRRIGATION EFFICIENCY, A METHOD OF THE DESIGN IRRIGATION SYSTEM SHALL BE TESTED AND ADJUSTED TO THE ACTUAL IRRIGATION SYSTEM.



**CREEKSIDE MIXED-USE CENTER
TENTATIVE TRACT MAP 04-004 &
PLANNED UNIT DEVELOPMENT 04-001
(THE "PROJECT")**

Mitigation Monitoring Program

August 2007

Table of Contents

Introduction	2
Legal Basis	2
Program Implementation and Monitoring	3
Implementation	3
Mitigation Monitoring	4
Mitigation Monitoring Status Reporting	5
Project Mitigation Measures	5
4.1 Aesthetics	5
4.2 Air Quality	6
4.3 Biology	7
4.4 Cultural Resources	16
4.5 Geology and Soil	19
4.6 Hazardous Materials	22
4.7 Hydrology, and Water Quality	23
4.8 Land Use	26
4.9 Noise	26
4.10 Public Services and Utilities	26
4.11 Water and Wastewater	27